



WOKINGHAM BOROUGH COUNCIL

A Meeting of the **PLANNING COMMITTEE** will be held
David Hicks 1 - Civic Offices, Shute End, Wokingham RG40
1BN on **WEDNESDAY 12 APRIL 2023 AT 7.00 PM**

A handwritten signature in black ink, appearing to read 'Susan Parsonage', with a long, sweeping tail stroke.

Susan Parsonage
Chief Executive
Published on 31 March 2023

Note: Non-Committee Members and members of the public are welcome to attend the meeting or participate in the meeting virtually, in line with the Council's Constitution. If you wish to participate either in person or virtually via Microsoft Teams please contact Democratic Services. The meeting can also be watched live using the following link:

<https://youtube.com/live/bIH471YXjIY?feature=share>

Please note that other people may film, record, tweet or blog from this meeting. The use of these images or recordings is not under the Council's control.

Our Vision
<i>A great place to live, learn, work and grow and a great place to do business</i>
Enriching Lives
<ul style="list-style-type: none"> • Champion excellent education and enable our children and young people to achieve their full potential, regardless of their background. • Support our residents to lead happy, healthy lives and provide access to good leisure facilities to enable healthy choices for everyone. • Engage and empower our communities through arts and culture and create a sense of identity for the Borough which people feel part of. • Support growth in our local economy and help to build business.
Providing Safe and Strong Communities
<ul style="list-style-type: none"> • Protect and safeguard our children, young and vulnerable people. • Offer quality care and support, at the right time, to reduce the need for long term care. • Nurture our communities: enabling them to thrive and families to flourish. • Ensure our Borough and communities remain safe for all.
Enjoying a Clean and Green Borough
<ul style="list-style-type: none"> • Play as full a role as possible to achieve a carbon neutral Borough, sustainable for the future. • Protect our Borough, keep it clean and enhance our green areas for people to enjoy. • Reduce our waste, promote re-use, increase recycling and improve biodiversity. • Connect our parks and open spaces with green cycleways.
Delivering the Right Homes in the Right Places
<ul style="list-style-type: none"> • Offer quality, affordable, sustainable homes fit for the future. • Ensure the right infrastructure is in place, early, to support and enable our Borough to grow. • Protect our unique places and preserve our natural environment. • Help with your housing needs and support people, where it is needed most, to live independently in their own homes.
Keeping the Borough Moving
<ul style="list-style-type: none"> • Maintain and improve our roads, footpaths and cycleways. • Tackle traffic congestion and minimise delays and disruptions. • Enable safe and sustainable travel around the Borough with good transport infrastructure. • Promote healthy alternative travel options and support our partners in offering affordable, accessible public transport with good transport links.
Changing the Way We Work for You
<ul style="list-style-type: none"> • Be relentlessly customer focussed. • Work with our partners to provide efficient, effective, joined up services which are focussed around our customers. • Communicate better with customers, owning issues, updating on progress and responding appropriately as well as promoting what is happening in our Borough. • Drive innovative, digital ways of working that will connect our communities, businesses and customers to our services in a way that suits their needs.
Be the Best We Can Be
<ul style="list-style-type: none"> • Be an organisation that values and invests in all our colleagues and is seen as an employer of choice. • Embed a culture that supports ambition, promotes empowerment and develops new ways of working. • Use our governance and scrutiny structures to support a learning and continuous improvement approach to the way we do business. • Be a commercial council that is innovative, whilst being inclusive, in its approach with a clear focus on being financially resilient. • Maximise opportunities to secure funding and investment for the Borough. • Establish a renewed vision for the Borough with clear aspirations.

MEMBERSHIP OF THE PLANNING COMMITTEE

Councillors

Rachelle Shepherd-DuBey (Chair)	Andrew Mickleburgh (Vice- Chair)	Chris Bowring
Stephen Conway	David Cornish	John Kaiser
Rebecca Margetts	Alistair Neal	Wayne Smith

ITEM NO.	WARD	SUBJECT	PAGE NO.
98.		APOLOGIES To receive any apologies for absence.	
99.		MINUTES OF PREVIOUS MEETING To confirm the Minutes of the Meeting held on 8 March 2023.	5 - 16
100.		DECLARATION OF INTEREST To receive any declaration of interest	
101.		APPLICATIONS TO BE DEFERRED AND WITHDRAWN ITEMS To consider any recommendations to defer applications from the schedule and to note any applications that may have been withdrawn.	
102.	Shinfield South	SHINFIELD FOOTPATH 14 DIVERSION - MARTYN CRESCENT, SHINFIELD, RG2 9WF Recommendation: Approval	17 - 26
103.	Shinfield South	SHINFIELD FOOTPATH 11/12 DIVERSION - SHINFIELD WEST LOCAL CENTRE Recommendation: Approval	27 - 34
104.	Evendons	APPLICATION 222513 "LAWRENCE CENTRE", OAKLANDS PARK, WOKINGHAM, RG41 2FE Recommendation: Conditional Approval	35 - 60
105.	Remenham, Wargrave and Ruscombe	APPLICATION 223613 PIGGOT SCHOOL, TWYFORD ROAD, WARGRAVE RG10 8DS Recommendation: Conditional Approval	61 - 100
106.	Arborfield; Winnersh	APPLICATION 221843 REDDAM HOUSE SCHOOL Recommendation: Conditional Approval	101 - 136
107.	Arborfield; Winnersh	APPLICATION 222319 REDDAM HOUSE SCHOOL Recommendation: Conditional grant of listed building consent.	137 - 158

108. Finchampstead
South

**APPLICATION 211335 LAND ADJOINING
LYNFIELD HOUSE, WHITE HORSE LANE,
FINCHAMPSTEAD, BERKSHIRE, RG40 4LX**
Recommendation: Conditional Approval

159 - 178

Any other items which the Chairman decides are urgent

A Supplementary Agenda will be issued by the Chief Executive if there are any other items to consider under this heading.

GLOSSARY OF TERMS

The following abbreviations were used in the above Index and in reports.

C/A	Conditional Approval (grant planning permission)
CIL	Community Infrastructure Levy
R	Refuse (planning permission)
LB	(application for) Listed Building Consent
S106	Section 106 legal agreement between Council and applicant in accordance with the Town and Country Planning Act 1990
F	(application for) Full Planning Permission
MU	Members' Update circulated at the meeting
RM	Reserved Matters not approved when Outline Permission previously granted
VAR	Variation of a condition/conditions attached to a previous approval
PS	Performance Statistic Code for the Planning Application
Category	

CONTACT OFFICER

Callum Wernham
Email
Postal Address

Democratic & Electoral Services Specialist
democratic.services@wokingham.gov.uk
Civic Offices, Shute End, Wokingham, RG40 1BN

**MINUTES OF A MEETING OF THE
PLANNING COMMITTEE
HELD ON 8 MARCH 2023 FROM 7.00 PM TO 9.30 PM**

Committee Members Present

Councillors: Rachelle Shepherd-DuBey (Chair), Andrew Mickleburgh (Vice-Chair), Chris Bowring, Stephen Conway, Rebecca Margetts, Alistair Neal and Wayne Smith

Councillors Present and Speaking

Councillors: Graham Howe

Officers Present

Kamran Akhter, Principal Highways Development Control Officer
Rachel Lucas, Legal Services
Madeleine Shopland, Democratic & Electoral Services Specialist
Brian Conlon, Operational Lead – Development Management

Case Officers Present

Joanna Carter
Helen Maynard
Kieran Neumann

89. APOLOGIES

Apologies for absence were submitted from Councillors David Cornish and John Kaiser.

90. MINUTES OF PREVIOUS MEETING

The Minutes of the meeting of the Committee held on 8 February 2023 were confirmed as a correct record and signed by the Chair.

91. DECLARATION OF INTEREST

Rebecca Margetts declared a Personal Interest in item 95 - 222603 St Crispins School, London Road, Wokingham, RG40 1SS, on the grounds that she was a governor at Nine Mile Ride School which was part of the Circle Trust, which St Crispin's also belonged to.

Andrew Mickleburgh declared a Personal Interest in item 94 – 223604 The Emmbrook School, Emmbrook Road and item 95 22603 St Crispins School, London Road, on the grounds that he was the Chair of the Children's Services Overview and Scrutiny Committee which included oversight of education provision. He stated that he came to this meeting with an open mind and would consider all evidence prior to making a judgement on the applications.

92. APPLICATIONS TO BE DEFERRED AND WITHDRAWN ITEMS

There were no applications to be withdrawn or deferred.

93. APPLICATION NO.222367 - LIBRARY PARADE, CROCKHAMWELL ROAD, WOODLEY

Proposal: Full application for the proposed creation of a mixed-use building consisting of the retention of the existing 3 no. retail stores at ground floor level and the addition of 16 no. apartments on new first, second and third floor levels, including the erection of three and four storey rear extensions with associated car parking, cycle and bin stores, following partial demolition of the existing building.

Applicant: Mr Hardeep Hans

The Committee considered a report about this application, set out in agenda pages 21 to 89.

The Committee were advised that updates contained within the Supplementary Planning Agenda included:

- Clarification that the correct CIL rate for 2023 was £500.29 index linked.
- Clarification of points raised by Councillor Boyt during the February Committee meeting regarding amenity space, internal amenity space, clarification around accessible units, parking provision, heating and extraction units and retail units.
- Briefing note from the applicant's consultant;

Michaela Dalton spoke in objection to the application. Michaela commented that she was the owner of Woodley Pets whose service area was at the rear of Library Parade, opposite the proposed site. She stated that the application would have an impact on this already congested, high traffic area. There was already a limited turning circle for HGVs, and many reversed back from the Headley Road due to the fencing. Michaela stated that already unauthorised vehicles were using the existing parking space, which was difficult to police. She felt that the application offered insufficient parking provision, with 8 spaces for 16 apartments, only 31% of any incoming residents. She commented that whilst they were being marketed as being without parking, the same was the case for the flats above Lidl, and every resident had a car. Michaela also questioned what provision was being made for the overflow of retail staff who would no longer be able to park in the development site, and also during the construction period when contractors would be on site.

Bruce Chappell, resident, spoke in objection to the application. Bruce stated that he lived with his daughter in one of the flats above the Lidl building, directly opposite Library Parade. He raised concerns regarding privacy for himself and his daughter, the close proximity of the proposed site, the potential for sunlight to his property to be blocked, and the fact that he felt that the proposal was not in keeping with surrounding area. Bruce commented that he had offered for officers to come and see the proposed site from his flat to assess the impact, but that this had not been taken up. He had also been unaware of the Members site visit. Bruce went on to question what measures would be taken to ensure that residents were not impacted by noise pollution from the plant equipment which was to be situated on the roof at the highest point. In addition, he questioned plans in place during construction. During the warmer months his balcony and windows were often open, and he had concerns regarding the potential impact of dust, noise and chemicals, and the impact on privacy.

Paul Butt, agent, spoke in support of the application. Paul stated that the distance between Sandford Court and the proposed dwellings was within planning guidelines. The separation distance was nearly 11 metres across Library Parade. He commented that Mr Chappell lived in the western most of the two flats opposite. Proposed Unit 14, opposite, would have two bedrooms with two internally shuttered bedroom windows. Paul advised the Committee that the applicant was willing to relocate the living room window to Unit 13. He emphasised that Planning Practice Guidance allowed for a condition to modify plans as the application would not be substantially different. With regards to concerns raised by objectors to the application around traffic issues in the service yard, Paul highlighted that the Highways Officer had anticipated a significant reduction in traffic generation with the proposed residential use compared to the existing office use.

Shirley Boyt, Ward Member, spoke in objection to the application. She thanked Officers for partly addressing issues that she had previously raised. However, with regards to the location of the wheelchair accessible apartments the distance from the lift to the apartments was 17 metres but the disabled parking bays were at the furthest point from the lift at around 22 metres. She asked that parking be reconfigured so that the disabled bays were adjacent to the lift entrance, and the needs of wheelchair users be taken into consideration with the design of the lift lobby doors. Shirley noted that the apartments were to be marketed as car free and commented that whilst this worked well in large urban centres, Woodley was not a large town centre and only had decent public transport links with Reading. She referred to Sandford Court which had been cited as an example of car free living and stated that almost every resident owned a car. Those that could not afford season tickets had to park elsewhere. She felt that this would also be the case with the new development. Shirley stated that the existing air conditioning and extraction units did not have negative impact on residents even when running at full capacity during the summer months. She questioned the size and number of units that would be situated on the plant area on the roof and if there would be air source heat pumps. There could potentially be adverse noise impact on the top floor flats of Sandford Court, particularly in summer. Shirley noted that condition 12 called for a noise impact assessment, and questioned why this had not been requested earlier in the process, and what would happen should the noise impact assessment show noise levels to be above acceptable levels.

It was confirmed that a number of Members had attended a site visit or visited the site themselves.

Andrew Mickleburgh questioned which floors the accessible apartments would be located and was informed that they would be located on the first and second floors. Andrew noted that no objection had been received from the Fire Authority and sought clarification as to whether the plans viewed by the Fire Authority would have made it clear that the accessible units would not be located on the ground floor. It was confirmed that the Fire Authority had viewed the plans contained within the agenda. Andrew went on to ask about the offer from the applicant to relocate the window of Unit 13 and whether it would be beneficial to residents in the flats opposite. Helen Maynard, case officer, confirmed that the Committee should consider what was before it. Andrew questioned whether an informative that the applicant look at positioning the disabled parking bays as near as possible to the access points, could be included. Helen Maynard stated that the Committee should consider what was before it. However, the Highways Officer had had no objections to the parking arrangements. Whilst an informative was possible it was not binding on the applicant.

Stephen Conway thanked the case officer for the report and presentation. He sought clarification regarding separation distances as detailed in the Borough Design Guide. Helen Maynard indicated that the Borough Design Guide referred to a distance of 15 metres at the height of building in question. The proposed buildings would be 11 metres from the existing flats. However, the Design Guide also stated that in town centre locations or schemes in a more urban setting, distances were likely to be tighter, and could be under 15 metres. Stephen Conway was of the view that the proposed separation distance was so far under the 15 metres guidance as to prove an unacceptable relationship with the existing properties.

Rachelle Shepherd-DuBey asked whether personal evacuation plans would be brought in for the accessible apartments. Brian Conlon, Operational Lead – Development Management, stated that there were certain requirements for Fire Safety Plans for designated buildings which met a threshold in terms of the number or size of units. The application did not trigger this requirement. Rachelle Shepherd-DuBey went on to question whether in urban areas, separation distances of less than 15 metres were more common. Helen Maynard confirmed that this was the case, and that Woodley town centre was designated as an urban area. She stated that due to the height of Lidl and the surgery there would be a staggered relationship as opposed to a direct window to window relationship. Rachelle Shepherd-DuBey asked whether it would be possible to see into the windows of existing apartments opposite and was informed that it may be possible to look down to some extent in some cases.

Rebecca Margetts was of the view that an 11 metre separation distance was quite a departure from the Design Guide. She questioned why no information or photographs had been provided from the viewpoint of the apartments that would be located opposite. Brian Conlon stated that the relationship within the town centre precinct was not unusual for an urban area. There were examples in the Borough with similar relationships where ensuring the 15 metre distance was impossible due to factors such as street widths. Therefore, the Borough Design Guide allowed for an assessment of the character of the area. Discretion could be used to determine whether harm would be caused.

Wayne Smith stated that it was already a congested area. Shipping containers were currently taking up available parking spaces. In addition he commented that heat pumps could be noisy. Wayne expressed concern regarding the separation distances.

Rachelle Shepherd-DuBey questioned whether it was a requirement in the Borough Design Guide that parking was provided for apartments, and if there were acceptable noise levels within urban areas. Helen Maynard stated that 11 of the 16 units would be car free and the Highways Officer had not objected to this because of the sustainable location. There was no requirement for apartments to have parking provision. She emphasised that 'car free' did not preclude owners from owning a car but they would not have onsite parking provision and would have to park elsewhere. Condition 24 referred to plant noise condition. If noise levels were higher than that detailed in the condition, noise attenuation would be required.

Stephen Conway stated that units 14 and 15 would be 11 metres from existing apartments. Although there would be oblique relationships it would still be possible to see into rooms on the opposite side. The Borough Design Guide was silent on how far below the 15 metre separation distance standard could be considered acceptable. Stephen was of the view that the 11 metre separation distance was unacceptable and would give scope for overlooking. Stephen questioned whether parking issues could be taken into account. Rachel Lucas, Legal, commented that clear planning reasons needed to be provided should the Committee be minded to make a decision which was contrary to the officer recommendation.

Stephen Conway proposed that the application be refused on the grounds of the impact on amenity of the neighbouring occupiers as a result of proximity and overlooking. This was seconded by Wayne Smith.

RESOLVED: That application number 222367 be refused on the grounds of the impact on amenity of the neighbouring occupiers as a result of proximity and overlooking.

94. APPLICATION NO.223604 - "THE EMMBROOK SCHOOL", EMMBROOK ROAD, WOKINGHAM

Proposal: Full application for the proposed erection of a two-storey 6th form centre with external stairway and disability ramp and a single storey office/admin extension with external disability stairway and disability ramp along with landscaping works following demolition of the existing admin block.

Applicant: Mr T Searle (Wokingham Borough Council)

The Committee considered a report about this application, set out in agenda pages 90 to 130.

The Committee were advised that updates contained within the Supplementary Planning Agenda included:

- Amended Condition 6;
- Amended Condition 18;

Nick McSweeney, applicant, spoke in support of the application. He stated that Emmbrook School had increased in popularity and was admitting more pupils than ever. There was a demand within the community for places at the school. The school had taken an additional 30 pupils over its admission number the previous year and would do so again this September. Additional pupils created operational pressures within the school. An office had been converted into a Sixth Form teaching area. The application would allow more teaching space and also greater independent study space for the older pupils.

Stephen Conway asked about relationships with existing dwellings. Officers indicated that the recommended distance for three storey buildings was in excess of 30 metres, which would be the case for 113 and 115 Emmbrook Road. The separation distance to 93 Emmbrook Gate would fall below 30 metres, however due to the positioning and orientation of the building, and the fact that the windows were proposed to be obscure glazed, it was felt that this would not have an unacceptable impact on the residents.

Stephen Conway proposed that the application be approved in line with the officer recommendation. This was seconded by Wayne Smith.

RESOLVED: That application number 223604 be approved subject to conditions and informatives as set out in agenda pages 102 to 109, and amended conditions 6 and 18, as set out in the supplementary agenda.

95. APPLICATION NO.223603 - ST CRISPINS SCHOOL, LONDON ROAD, WOKINGHAM, RG40 1SS

Proposal: Full application for the proposed erection of a single storey extension to the existing dining hall and a two-storey extension to the existing Sixth Form block to provide 8 no. new classrooms, plus a new canopy to the front entrance and a services and bin store, following demolition of the existing services and bin store.

Applicant: Wokingham Borough Council

The Committee considered a report about this application, set out in agenda pages 131 to 186.

Andy Hinchcliff, applicant, spoke in support of the application. Andy stated that for September 2022 St Crispins had taken an additional 100 pupils to help local communities to gain secondary school places, and would take an additional 55 pupils in September 2023. Factors such as a bulge year moving from primary to secondary school, incoming families from Hong Kong, Ukraine and other areas, and new housing developments, increased pressure on school places. Andy commented that St Crispin's had opened in 1953 and the planned cohort had been 450. The dining space seated 140 people. The school now had 1400 pupils. Whilst the school had grown over the years the dining space had remained unchanged and was now inadequate in size. The new dining area would have greater capacity and allow the school curriculum to grow. Currently other areas such as the hall were used for pupils. Meaning it could not be used for Duke Edinburgh activities, sports, and exams. Andy stated that extending the Sixth Form would support the growth of the school and create an additional 8 classrooms.

Stephen Conway commented that the Built Heritage Officer had objected to the application as it was a listed building. He went on to state that whilst he was in favour of preserving listed buildings, he was of the view that any harm that the proposal may cause to the listed building, was outweighed by the improved facilities at the school and the additional capacity that would be created.

Stephen Conway proposed that the application be approved in line with the officer recommendation. This was seconded by Andrew Mickleburgh.

RESOLVED: That application number 223603 be approved subject to conditions and informatives as set out in agenda pages 149 to 160.

96. APPLICATION NO.220987 - ROSE TOOP BOATYARD, WARGRAVE ROAD, HENLEY

Proposal: Full application for the proposed ground floor and first extensions to the existing buildings to provide additional workshop, gallery, and mezzanine level for dry storage along with recreational floorspace. Re-cladding of external walls with vertical timber boards. Creation of a river cutting to provide additional /replacement moorings.

Applicant: Mr Adam Toop

The Committee considered a report about this application, set out in agenda pages 187 to 224.

The Committee were advised that updates contained within the Supplementary Planning Agenda included:

- Details of 21 additional representations, 3 of which supplement an existing representation, and 18 which were new;
- Details of volume calculations;
- National Planning Policy Framework clarification;
- Clarification around local employment

John Merkel, Remenham Parish Councillor, spoke in support of the application. John was of the view that the proposal was uniquely suited to the activities that took place in Remenham. The development of the museum aspect was a long-term project and would have a positive impact on the local area. He stated that it was a small community and that

the activities would develop and grow. John felt that the proposal for refusal related to the question of scale, but he believed that changes would be incremental.

Adrian Gould, agent, spoke in support of the application. He stated that the proposal was not a redevelopment, but an extension. It would not be harmful to the Green Belt as it complied with NPPF Guidance that allowed for proportionate extensions to existing buildings. The extension would amount to a volume metric increase of 12%. Adrian commented that the proposal did not involve a change of use, and that the principal use would remain the storage, maintenance and repair of boats. The mezzanine would be used for complementary purposes which were ancillary and would not exist in isolation. Adrian emphasised that the proposed extension would enhance the design quality of the building, in a developed part of the river frontage. Whilst part of the central section would increase in height, it would remain in keeping with the height of neighbouring buildings. The proposed planting would provide landscape enhancement and significant biodiversity net gains. Adrian commented that the proposed moorings would not impact adversely on Green Belt openness and were different to a previous proposal.

Adam Toop, applicant, spoke in support of the application. He emphasised that the collection was of national significance and urgently required a suitable home and to stay together. Adam commented that the artefacts needed to be stored in a safe, controlled environment of modest scale. The proposed mezzanine would protect the items from annual flooding. Adam stated that the boatyard had been used to store, maintain, and moor boats for over a century, and the proposal proposed a continuation of this. Adam referred to local support for the application. He stated that the proposal represented sensitive, community focused improvements that valued and safeguarded the importance of the site.

Graham Howe, Ward Member, spoke in support of the application. He was also speaking on behalf of John Halsall, his fellow Ward Member. Graham stated that the proposal did not represent a change of use and that he believed that the proposals would improve the building materially. The exterior cladding would improve the look of the building and would match the nearby River and Rowing Museum. Graham commented that Henley and its councillors were also supportive of the application, as were many residents on the Wokingham side of the river. He went on to state that one of the key greenfield objections related to the proposed increase of the roof height by 1.5 metres. However, it would still be under the height of the neighbouring Henley Rowing Club. Graham commented that the applicant would be open to further conditions. Finally, Graham stated that the application would improve the Wokingham side of the river, and that the Council should support locals in a positive and engaging way.

It was noted that a number of Members had attended a site visit or visited the site themselves.

Andrew Mickleburgh queried how the Green Belt designation including the weighting given to this designation impacted by the existing use of the site as a boatyard. Helen Maynard responded that the existing building on the site had been granted planning permission in 2005 because a previous building on site burnt down. Usually a boat yard and industrial use was not something that would be allowed in the Green Belt, but in 2005 the fire meant that there were very special circumstances to allow this. A number of specific conditions had been put in place. Andrew Mickleburgh questioned whether the long term development as a community facility could be taken into account. Helen Maynard indicated that the application related to the redevelopment of the existing boatyard to

remain as a boatyard, but further applications could come forward in the future if required. Andrew went on to refer to the stated limited public benefit of the proposal, which was cited as a reason for refusal, and asked whether the preservation of the Rose Toop boat collection could be considered a public benefit. Helen Maynard commented that the application related to the use of land and was not a personal planning permission.

In response to a question from Wayne Smith regarding the calculation of increases in footprint in the Green Belt, officers confirmed that calculations were based on the original footprint. Wayne was of the opinion that the application was more compact than the original building, and would entail less encroachment than that set out in the refused application of 2017. He felt that the application would enhance the character of the area. In addition, Wayne asked whether a condition that the mezzanine be used in conjunction with, or was ancillary to, the Rose Toop boat collection, could be put in place. Helen Maynard stated that ancillary to the boatyard could also include features such as the toilets and kitchen facilities. Brian Conlon added that there was an existing use on a site, with a building that was being proposed to be extended in addition to other alterations. Fundamentally the use as a boat yard was not altering. The owner could use the mezzanine for boat activities if they wished. The boat yard was one planning unit. He cautioned against the use of personal permissions. Wayne Smith went on to state that based on the volumes, scope and size, he did not believe that the application would cause major harm to the location.

Officers advised that if a personal permission was put in place, once the property ceased to be occupied by the named person, or after a number of years, whichever occurred first, the permission would cease, and materials and equipment relating to that use, would be removed. It would be difficult to enforce the elements that would relate to any personal permission.

Stephen Conway commented that officers were recommending refusal on the grounds of inappropriate development in the Green Belt and the negative impact on countryside and landscape character. He commented that the site was previously developed land and there was an existing use as a boatyard in place. Stephen was of the view that the size of the proposed additional build was small, and was smaller than the original building which had burnt down and only a 12% increase on the existing building. He questioned whether the special circumstances that had been applied when the original building had burnt down, could be considered to still apply. Helen Maynard indicated that the raising of the height was considered to have an impact on the openness. Stephen also asked whether the NPPF referred to supporting businesses in rural locations. Helen Maynard stated that there was nothing specific in the Green Belt section of the NPPF regarding supporting rural businesses. It stated that the construction of new buildings in the Green Belt was inappropriate and that the exceptions were agriculture, forestry, provision for facilities for outdoor sport and recreation, cemeteries, burial grounds, and allotments, providing the facilities preserved the openness of the Green Belt and did not conflict with its purposes. The activities of the boatyard were light industrial. Stephen queried whether the level of public support could be taken into account as a material planning factor. Helen Maynard responded that only those material considerations raised could be considered.

Al Neal felt that the cladding would help the building to fit in the surrounding area more and that the extension would not result in a disproportionate increase.

Chris Bowring queried whether an increase in leisure activities would constitute a change in use. Helen Maynard stated that this was outside of the application.

Wayne Smith commented that the overall increase in height based on the original building which burnt down, was 0.93 metres. The building would still be smaller than surrounding buildings. With regards to the impact on the countryside, he was of the view that the proposal would enhance the riverside, and that it was not detrimental to the Green Belt and riverside setting. Helen Maynard highlighted paragraph 149 g) of the NPPF which referred to having no greater impact on the openness of the Green Belt.

Rachelle Shepherd-DuBey queried whether people taking out boats constituted recreational use, and was reminded that the current use of the site was light industrial.

Stephen Conway was of the view that the proposal would not have a detrimental impact on the surrounding landscape and character of the Green Belt, or constituted inappropriate development. He suggested that should the application be approved, that the attachment of appropriate conditions be delegated to officers in consultation with the Chairman and Vice Chairman. Brian Conlon commented that there was a standard list of conditions which would be applicable. An outstanding objection regarding the hedge planting remained which would have to be addressed with the applicant. Helen Maynard added that the applicant had agreed to the conditions from the Environment Agency.

It was proposed by Wayne Smith that the application be approved on the grounds that it did not constitute inappropriate development in the Green Belt. Based on the volumes of the previous building, the application would not have a detrimental impact on the landscape character. This was seconded by Chris Bowring.

RESOLVED: That application number 220987 be approved on the grounds that it did not constitute inappropriate development in the Green Belt and would not have a detrimental impact on the landscape character. The finalisation of conditions to be delegated to Officers in consultation with the Chairman and the Vice Chairman.

97. APPLICATION NO.230020 - LOCKEY FARM, SINDLESHAM ROAD, ARBORFIELD, RG2 9JH

Proposal: Full planning permission for the erection of 2 buildings for Class E use. (Retrospective)

Applicant: Mr Graham Adams

The Committee considered a report about this application, set out in agenda pages 225 to 264.

The Committee were advised that updates contained within the Supplementary Planning Agenda included:

- Financial information provided by the agent in response to reason for refusal 2;
- Agricultural consultant comments;
- Officer analysis of financial report.

Jo Unsworth, agent, spoke in support of the application. She stated that the application was a retrospective application for two buildings which had been built by the applicant in order to economically support and diversify Lockey Farm. The Council's adopted planning policies and the NPPF stated that planning decisions should encourage the sustainable growth and expansion of rural businesses including through the provision of appropriate

new buildings, and specifically through the diversification of farming enterprises. Jo indicated that Lockey Farm had been in the same family since the 1940s. The owners had 180 sheep and helped to farm neighbouring Newlands Farm. Until recently they had kept cattle and were planning to do so again. They had previously kept chickens but had given this up in the last two years due to its financial unviability. Jo stated that Lockey Farm, like many other farms, was struggling, and was on the brink of ceasing altogether. This would also result in the closure of the café and the farm shop. The income streams provided by the office and shop buildings were vital to ensuring the continuation of the building. Jo commented that officers had recommended refusal due to inadequate justification in the financial information to show that the income from the two buildings supported the farm enterprise. Officers were of the view that the family did not actually farm, with only a proportion of the income coming from egg production, which was historic. Jo emphasised that this was a misunderstanding of the information provided and did not take account of the sale of Lockey lamb, eggs and goat meat through the farm shop and elsewhere. It was only through small scale diversification that the farming business remained viable. Jo commented that the officers report referred to the excess scale of the buildings and their encroachment into the countryside. She indicated that the buildings had been positioned so as to represent a modest extension of the courtyard and did not encroach into the countryside. Jo suggested that should the Committee require further consideration of the financial information provided, the application be deferred so that it could be discussed further with officers.

The Vice Chairman read a statement of support from Gary Cowan, Ward Member. Gary referred to the small family run farm shop which was supported by the local community, employed local residents, and used local suppliers. Gary was of the view that the Council should not miss any opportunity to assist local businesses in survival following the pandemic. He indicated that the Parish Council supported the farm and saw it as an important local business. The NPPF and other plans allowed for the support of projects in the Borough's rural communities such as the development and diversification of agricultural and other land based rural businesses. Gary was of the view that the proposal represented a very small addition to the farm shop, and would not damage the countryside. In addition the National Planning Policy Framework stated that planning policies and decisions should contribute to and enhance the natural local environment, and supported the retention and development of local services and community facilities such as local shops. Gary felt that the proposal would not have an impact on the viability or vitality of other retail in the locality. However, refusal of the application would likely mean the closure of the farm and the loss of employment. Paragraph 84 of the NPPF recognised that the site met local business and community needs in rural areas adjacent to existing settlements.

It was noted that a number of Members had visited the site either on the site visit or by themselves.

Rachel Lucas, Legal, indicated that there had been some concerns raised regarding the treatment of the allegations of unauthorised development. A plan indicating areas of authorised and unauthorised development on the site, had been presented at the request of Members. She advised that with regards to allegations of unauthorised use or development, whilst any planning application had to be considered in the wider context, given the allegations had not yet been determined, very little weight should be placed upon them.

Andrew Mickleburgh stated that the Committee was considering an application relating to two buildings. He sought clarification that the farm shop was located in a different building. Kieran Neumann, case officer indicated that the farm shop had recently been located into a smaller building on site which was not attached or associated to the buildings under consideration. Andrew Mickleburgh commented that the NPPF referred to support for businesses in the countryside. He asked for examples of the types of businesses that were considered appropriate and inappropriate, and whether the architects business located in one of the buildings would be included. Kieran Neumann stated that there were not specific restrictions in the NPPF, but CP11 outlined that the main form of development that was accepted in the countryside, was recreational. The two buildings under consideration were new buildings in the countryside and were inappropriate by their very nature. Brian Conlon added that the link to any diversification must be to the primary use of the land, which was agriculture. Andrew Mickleburgh went on to ask that if it could be demonstrated that the two buildings were vital to the financial viability of the farm business, and also the impact of the poor economic climate, whether these were material planning considerations. Kieran Neumann indicated that whilst a material consideration, only one of the four reasons for refusal related to the financial information.

Rachelle Shepherd-DuBey felt that farms that were supporting the local economy, should be supported.

Al Neal commented that the buildings were painted black and clad and could not be clearly viewed from the road. He sought further clarification regarding sustainable businesses in the countryside as referred to in Paragraph 84 of the NPPF. Kieran Neumann stated that officers were of the view that the proposals were not sustainable expansions and growth on the site. The uses of the buildings were inherently urban in character.

Wayne Smith commented that the farm shop was connected to the main use of the site, agriculture. The buildings that formed the application did not link back to the original use of the site.

It was proposed by Andrew Mickleburgh that the application be refused for the reasons detailed in Appendix 1 of the report. This was seconded by Chris Bowring.

RESOLVED: That application number 230020 be refused due to the proposals being located outside of Development Limits and being an unacceptable and unsustainable form of development for which inadequate justification exists; the absence of financial information to demonstrate that the proposed buildings and associated uses were economically related to the primary agricultural holding of Lockey Farm and were essential to its continued financial viability; harmful urbanising and industrialising impact on the visual and spatial amenities of the open countryside; and failure to protect and enhance the valued landscape and in particular the condition, character and features that contribute to the Arborfield Cross and Barkham Settled and Farmed Clay Landscape.

This page is intentionally left blank

Application Number	Expiry Date	Parish	Ward
Shinfield Footpath 14 Diversion	N/A	Shinfield	Shinfield South;

Applicant	Shinfield West Housebuilder Consortium (Bloor Homes and Vistry Thames Valley)
Site Address	Shinfield Footpath 14 at Martyn Crescent, Shinfield, RG2 9WF
Proposal	Application for the extinguish part of Shinfield Footpath 14 under Section 118 Highways Act 1980 and to divert part of Shinfield Footpath 14 under Section 119 Highways Act 1980
Type	Public Rights of Way Diversion and Extinguishment
Officer	Andrew Fletcher
Reason for determination by committee	Scheme of delegation

FOR CONSIDERATION BY	Planning Committee on Wednesday, 12 April 2023
REPORT PREPARED BY	Assistant Director – Environment and Safety
RECOMMENDATION	That the committee authorise the making of the diversion order and extinguishment order.

SUMMARY
<p>The Council has received an application to divert part of Shinfield Footpath 14 under Section 119 Highways Act 1980 to meet with Martyn Crescent, and to extinguish part of Shinfield Footpath 14 running through Martyn Crescent under Section 118 Highways Act 1980.</p> <p>The grounds for the making of the diversion order are that part of the line of the path should be diverted in the interests of the owner of land crossed by the path and of the public.</p> <p>The grounds for making the extinguishment order are that the existing path is no longer needed for public use.</p> <p>It is recommended that the order is made.</p>

PLANNING STATUS
<p>Legal Framework for the Decision: Orders for the stopping up of footpaths, bridleways or restricted byways may be made under section 118 of the Highways Act (1980), if the highways authority is satisfied that it is necessary to do so on the grounds that it is not needed for public use.</p> <p>Orders for the diversion of footpaths, bridleways or restricted byways may be made under section 119 of the Highways Act (1980), if the highways authority is satisfied that it is necessary to do so in the interests of the owner of the land and the public.</p> <p>Defra Rights of way Circular 01/09 is also relevant.</p>

RECOMMENDATION**That the committee authorise the making of the EXTINGUISHMENT ORDER:**

1. That authorisation is given to the making of an extinguishment order under s.118 Highways Act 1980 Act to stop up part of Shinfield Footpath 14 as shown on the plan no. 1, on the basis that the path is no longer needed for public use.
2. If no objections to the order are received or any such objections are withdrawn, that the order may be confirmed;
3. If objections are received and sustained, the order may be sent to the Secretary of State for confirmation.

That the committee authorise the making of the DIVERSION ORDER:

4. That authorisation is given to the making of an order under s.119 Highways Act 1980 Act to divert part of Shinfield Footpath 14 as shown on the plan no. 1, on the basis that the diversion will be in the interests of the public and of the landowner;
5. If no objections to the order are received or any such objections are withdrawn, that the order may be confirmed;
6. If objections are received and sustained, the order may be sent to the Secretary of State for confirmation.

PLANNING HISTORY

Application Number	Proposal	Decision
O/2010/1432	Outline consent for the redevelopment of the area	Approved at appeal
160183	Primary infrastructure phase	April 2016
161189	Reserved matters for the Phase 1 residential area	July 2016
181142	Discharge of conditions (Walking and Cycling Strategy)	Approved November 2019

CONSULTATION RESPONSES

Executive Member – Environment and Leisure	No objections
Local Members	No objections
Shinfield Parish Council	No response
Loddon Valley Ramblers	No objections
Mid & West Berks Local Access Forum	No response
Open Spaces Society	No response
British Horse Society	No objections but has requested footpaths upgraded to bridleways as part of the change (detailed below)

REPRESENTATIONS

Town/Parish Council: No comments received.

Local Members: No comments received

BACKGROUND

Description of existing path and proposed diversion

1. Shinfield Footpath 14 commences on Hyde End Road and runs in a westerly and generally north-westerly direction for approximately 585m, ending at Shinfield Footpath 13 to the north of Martyn Crescent.
2. The section of the path to be extinguished is shown by a solid pink line between points B and D on Plan No. 1.
3. The reason for the extinguishment is that new estate roads have been constructed as part of the approved development, providing a new path suitable for use all year round, and rendering the existing line of Shinfield Footpath 14 unnecessary. The estate roads are in the process of being dedicated as adopted highway; this means that the legal line of the footpath cannot be diverted onto them they will already be a public highway. In a practical sense this will not impact on the public right of access as the public have rights of access along Martyn Crescent, but it is beneficial to extinguish the route to avoid complications and potential conflicts between the Council's Adopted Highway records and the Definitive Map and Statement of Public Rights of Way.
4. The section of path to be diverted is shown by a solid orange line between the points A-B on Plan No.1. The proposed diversion route is shown by a solid red line between the points A-C on Plan No. 1.
5. The reason for the diversion will be to ensure that Shinfield Footpath 14 terminates on a public highway (Martyn Crescent).
6. The surface of the existing path runs through what is now residential housing, crossing over asphalt estate roads which have been dedicated as a highway separately under Section 38 Highways Act 1980.
7. A second consequence to the diversion and extinguishment will mean that Shinfield Footpath 14 will be separated into two distinct paths and the path will need to be renumbered. It is proposed to renumber the northern section of the path as Shinfield Footpath 14A.
8. The length of Shinfield Footpath 14 to be stopped up is approximately 245 metres long. The proposed diverted route will be 9 metres long.
9. The ongoing route by pedestrians will be to use either the estate roads along Martyn Crescent, or the off-road paths within the adjacent public open space.

Purpose of the Order and legal test for an Extinguishment

10. The test under s.118 of the Highways Act 1980 to be used to decide whether to make an extinguishment order is whether or not the existing path is necessary for public use.
11. The existing legal line of the path has been built upon and it is now unable to be used, however new roads and footways have been constructed that provide an

alternative surfaced path suitable for use all year round. It is considered that this alternative route means that the legal line is no longer necessary.

Purpose of the Order and legal test for a Diversion

12. The test under s.119 of the Highways Act (1980) to be used to decide whether to make a diversion order is whether the new route is as substantially convenient to the public and in the interests of the landowner and/ or the public.
13. The purpose of the diversion is to alter the definitive line of the path to join with the existing public highway (Martyn Crescent) in the interests of the public so that the route is not a dead-end

Benefits to the landowners

14. The path between A-B runs across what is now a residential estate. The diversion and extinguishment of the path will remove the legal line over these properties and provide reassurance to the residents that their homes are not at risk of having enforcement action taken them.

Benefits to the public

15. The effect of the proposed diversion will be to create a new route with a defined width of 2 metres linking into Martyn Crescent. This will prevent the diversion being a dead-end highway and allow ongoing travel on foot through the residential estate and also allow access to Shinfield Footpath 14 from the residential estate. It is thus considered that the proposed diversion order will be in the interests of both the landowner and the public.

Results of the informal consultation

16. The first stage of the diversion application process is to informally consult key stakeholders prior to any decision.
17. Local Members have been consulted and have made no objections to the diversion. Similarly, Shinfield Parish Council, the Loddon Valley Ramblers, the Mid & West Berkshire Local Access Forum, and the Open Spaces Society been consulted and have made no objections to the proposed diversion.
18. The British Horse Society do not have any objections to the specific extinguishment and diversion proposal however they have requested improvements to other paths to benefit the local community as an offset for this change. The British Horse Society have proposed one of the following changes detailed below. The full response and the map provided in included as Appendix 1 to this report:
 - a. *Reclassify footpath 11 as bridleway, offer the local community access from the new homes to community centre, shops and Langley Mead SANG at School Green. Also offer the existing community at School Green, an alternative quieter route, avoiding the A327, to the Church and Oakbank Senior School. There is space along the short route of footpath 11 to make this possible.*

- b. Adding a bridleway to link from footpath 14 from either point A or point D to opposite the Langley Mead SANG, offering recreational opportunities for cyclists as well as walkers*

19. The landowner has declined to make the changes suggested above as part of the application, with reasons cited below:

- a. There are proposals at the Local Centre for a retail unit in the vicinity of footpath 11 and any changes to the form or route of footpath 11 will ultimately depend on such proposals when approved at reserved matters stage. Nevertheless, while not a Bridleway, Footpath 11 is an existing public right of way which residents of School Green can currently use to visit St Mary's church (via Church lane). Similarly, residents can already use footpath 11, Deardon Way and existing footpaths 13 and 16 to visit Oakbank School avoiding the A327.*
- b. The route between A and E drawn in red is on land retained by the University of Reading and hence is not in the Shinfield Housebuilder Consortium's control. Nevertheless, an existing route in the form of a permissive path is available for the public to use along the dashed line identified between point A and point E, providing a connection to Langley Mead SANG. Moreover, the section between point D and E is provided as a carriageway with an adjacent 3m shared footway/cycleway and is in the process of being adopted by Wokingham Borough Council.*

20. The requests for path changes above do not impact the legal tests for the extinguishment and diversion order proposal, either that the existing path is not needed for public use, or whether or not the diversion would be in the interests of the landowner and/or the public. Accordingly it is not considered appropriate for the requests to be included as part of the decision whether or not to make an extinguishment order and diversion order. It is recommended that the Panel consider the proposal in isolation to these requests.

Next steps

- 21. If a decision is made to make an Extinguishment Order and a Diversion Order, there is a further statutory objection period of 28 days from the date of publication of each Order for any representations or objections. If there are no subsisting representations or objections the Council may then proceed to confirm the order. Otherwise, the order can only be confirmed by the Secretary of State who may decide to hold a Public Inquiry.
- 22. Should any objections be received that are not subsequently withdrawn a further report will be made to the Planning Committee for a decision whether to refer the matter to the Secretary of State or to abandon the Order.

CONCLUSION

Officers are of the opinion that the proposed extinguishment satisfies the criteria required under section 118 Highways Act 1980 and that it is expedient for the Council to make the order in that:

- 1) The existing line of Shinfield Footpath 14 running through the residential estate is no longer needed for public use.

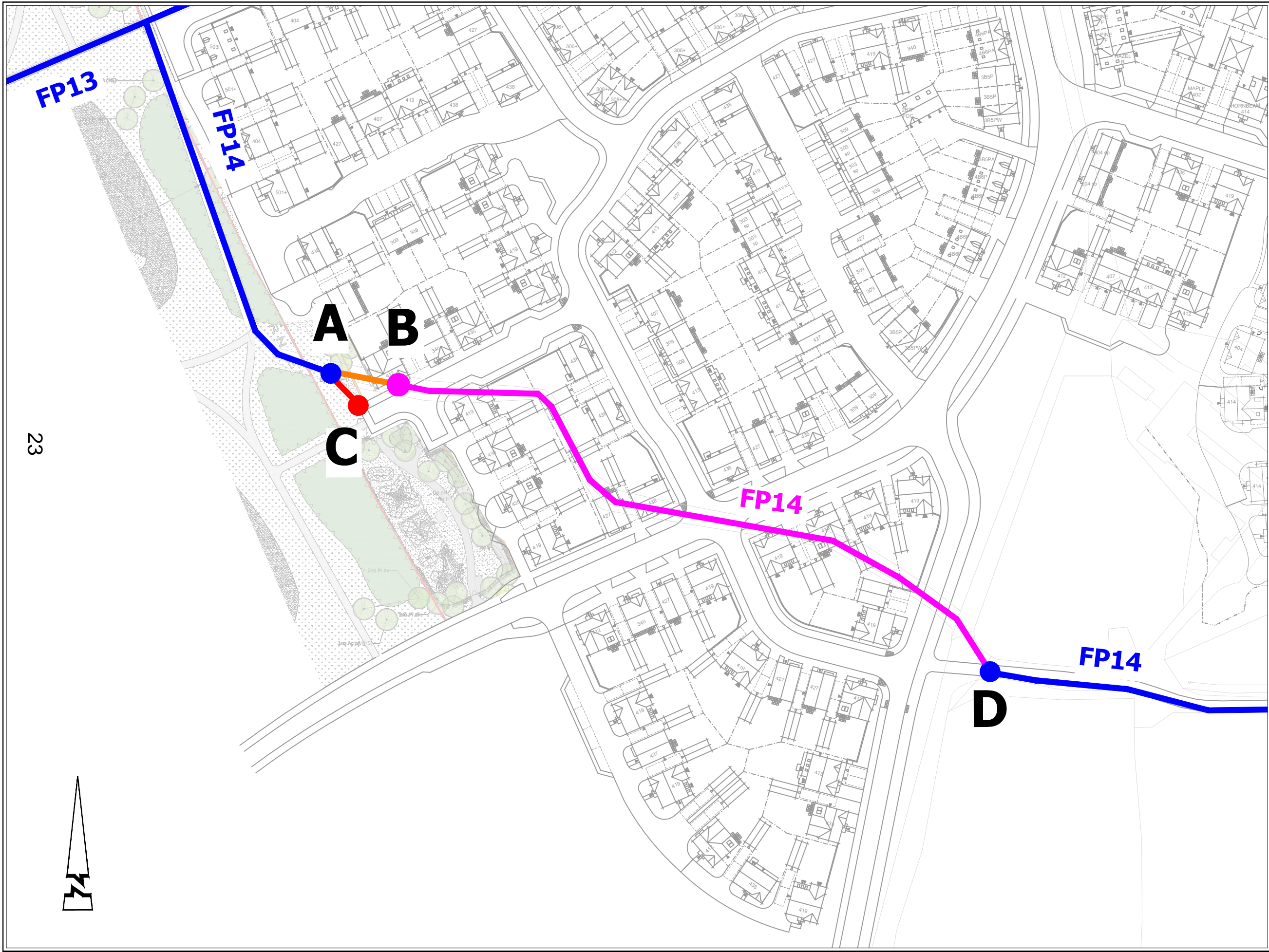
Officers are of the opinion that the proposed diversion satisfies the criteria under section 119 of the Highways Act 1980 and that it is expedient for the Council to make the order in that:

- 1) It is in the interests of the owner of the land and of the public;
- 2) In general the proposed diversion route and wider highway network will be as substantially convenient to the public.

It is recommended that the orders are made.

The Public Sector Equality Duty (Equality Act 2010)

In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.



23



© ABLE LETCHFORD PARTNERSHIP LTD.
This drawing should not be reproduced without consent.

- NOTES**
1. Do not scale.
 2. Refer to all other project drawings and specifications where applicable.

- KEY:**
- Existing Public Right of Way
 - Section of Public Right of Way (FP14) to be extinguished
 - Section of Public Right of Way (FP14) to be diverted.
 - Proposed permanent rerouting of Public Right of Way (FP14)

P1	4.22	First Issue	AG	NB
Rev	Date	Description	Drawn	Checked

AL ABLE LETCHFORD PARTNERSHIP
Consulting Engineers

Search House, Charnham Lane
Hungerford, Berkshire RG17 0EY
www.alpce.co.uk Tel: 01488 684390

Client
UNIVERSITY OF READING

Project
SHINFIELD WEST

Title
PROPOSED DIVERSION AND EXTINGUISHMENT OF FOOTPATH 14

Status
FOR INFORMATION

Scale	Date	Drawn	Checked
1:1,000 @ A3	APR 2022	AG	NB
Drawing No	Revision		
A061-SK70	P1		

This page is intentionally left blank

30th May 2022

Dear Andrew

Thank you for inviting me to consult on the diversion and part extinguishment of Shinfield Footpath 14.

Largely I have no objection to this, however I believe a PROW improvement should be made to benefit the local community as an offset for this change. I propose one of the following -

- 1 Reclassify footpath 11 as bridleway, offer the local community access from the new homes to community centre, shops and Langley Mead SANG at School Green. Also offer the existing community at School Green, an alternative quieter route, avoiding the A327, to the Church and Oakbank Senior School. There is space along the short route of footpath 11 to make this possible.
- 2 Adding a bridleway to link from footpath 14 from *either* point A *or* point D to opposite the Langley mead SANG, offering recreational opportunities for cyclists as well as walkers. This suggested route is shown in red on the map below.



The developers are in a position to offer one of these improvements, it is my opinion that their development design is flawed by not including these links to benefit both the existing and new communities.

Your sincerely

Nicola Greenwood
BHS Access and Bridleways Officer - Wokingham
BHS Accredited Senior Coach

This page is intentionally left blank

Application Number	Expiry Date	Parish	Ward
Shinfield Footpath 11/12 Diversion		Shinfield	Shinfield South;

Applicant	Bloor Homes and Vistry Thames Valley
Site Address	Shinfield Footpath 11 & 12
Proposal	Application for the diversion of part of Shinfield Footpath 11 & Shinfield Footpath 12 under Section 257 Town and Country Planning Act 1990
Type	Public Path Diversion
Officer	Connor Clark
Reason for determination by committee	Scheme of delegation

FOR CONSIDERATION BY	Planning Committee on Wednesday, 12 April 2023
REPORT PREPARED BY	Assistant Director – Place and Growth
RECOMMENDATION	<ol style="list-style-type: none"> 1. That authorisation is given to the making of an order under s257 of the Town & Country Planning Act 1990 to divert part of Footpath 11 Shinfield and part of Footpath 12 Shinfield as shown in Appendix A to enable development to be carried out. 2. If no objections to the order are received or any such objections are withdrawn, that the order may be confirmed. 3. If objections are received and sustained, the order may be sent to the Secretary of State for confirmation.

PLANNING STATUS
<p>Legal Framework for the Decision: Orders for the stopping up or diversion of footpaths, bridleways or restricted byways may be made under Section 257 of the Town & Country Planning Act 1990 (“1990 Act”) if the planning authority is satisfied that it is necessary to do so in order to enable the development to be carried out in accordance with the planning permission.</p>

BACKGROUND
<ol style="list-style-type: none"> 1. The Council has received an application to divert part of Shinfield Footpath 11 and Shinfield Footpath 12 under Section 257 of the Town and Country Planning Act 1990. 2. The grounds for the making of the diversion order is to enable approved development of the area to be carried out. A plan is attached below showing the full extent of the diversion and included in Appendix A 3. The Order would be made under Section 257 of the Town and Country Planning Act 1990 (TCPA 1990). This enables the Council to make an order to divert or stop up a footpath if they are satisfied that it is necessary to do so in order to enable development to be carried out.

4. The existing Public Right of Way is shown in Black on the attached plan and below. the proposed permanent diversion of footpath 11 is shown from points A – B in Blue, the proposed permanent diversion of footpath 12 is shown in points E – C in Red.

5. Shinfield Footpath 11

Existing length of section: 85m

Diverted length of section: 92m

Net change: +7m

The current condition of the footpath is a natural surface, as part of the development the path will be surfaced with a permeable asphalt. The development will change the existing character of the area to a more urban environment so it is appropriate that the path surface will be suitable for use all year round. Due to the restricted space on site the design has needed to incorporate steps into the path, which were not in existence previously. This introduces a new access issue for disabled people and people with pushchairs and prams. To mitigate this, the development will also include ramps for disabled access to allow wheelchairs and also prams to access, this would however not be on or part of the right of way or obstructing the right of way.

6. Shinfield FP 12:

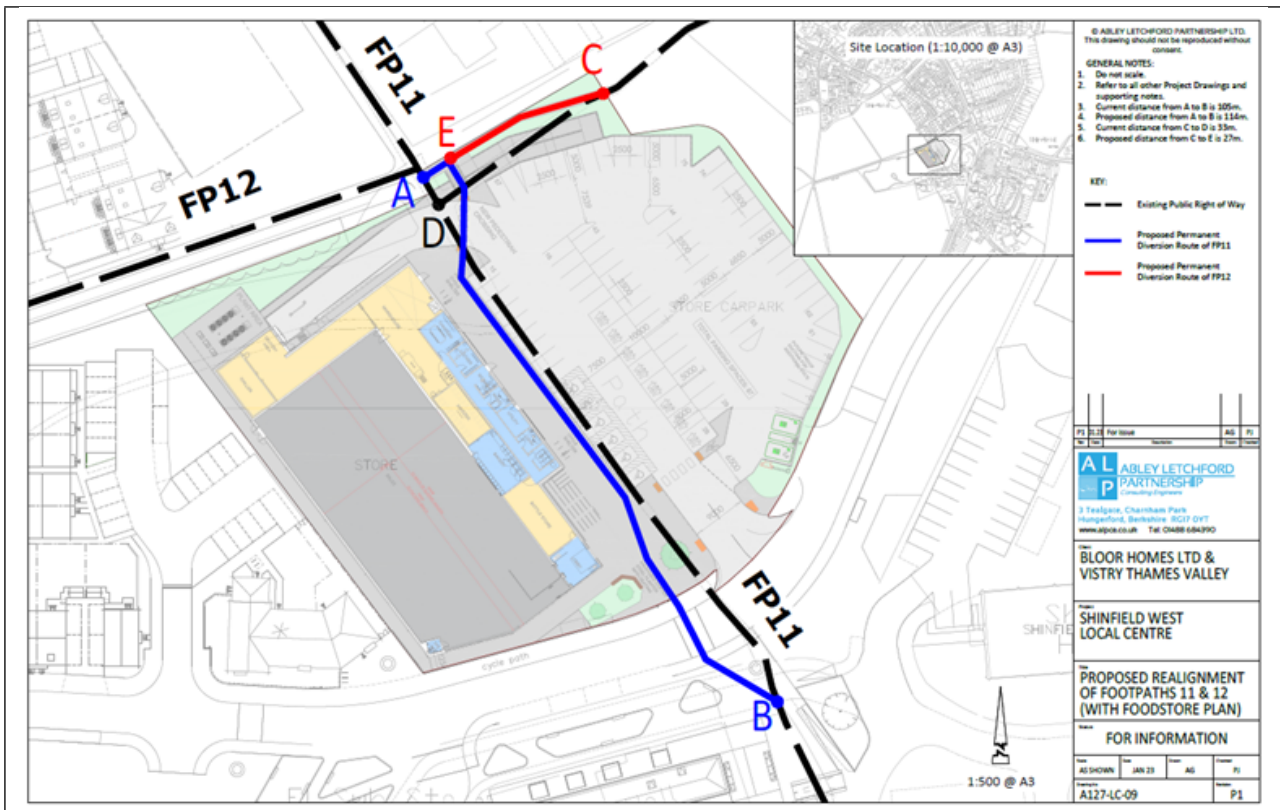
Existing length of section: 40m

Diverted length of section: 20m

Net change -20m

The current condition of the footpath is a natural surface, as part of the development the path will be surfaced with a permeable asphalt.

7. Overall, it is considered that any detrimental effects on the path have been mitigated by the inclusion of the ramps, and it is clear that the diversion is required to enable the development to go ahead. Therefore, it is recommended that the order is made.



RELEVANT PLANNING HISTORY		
Application Number	Proposal	Decision
O/2010/1432	Outline Planning Permission	Approved 08/11/12
VAR/2014/0624	Planning Permission	Approved 23/10/14
222656	Approval of Reserved Matters	Approved 02/12/22

CONSULTATION RESPONSES

Shinfield Parish Council:
 The members have no objection to the proposed diversions provided that the footpaths are properly surfaced. They recognise that the ramp is required due to the level change in that area and that the footpath will follow the frontage of the retail development.

It is also noted that the diversion includes an uncontrolled crossing on Beke Avenue and members wish to re-state their opinion that there should be traffic calming (bus gate) and or a controlled crossing at this point on the footpath. The path is a heavily travelled route especially to and from the schools and giving priority to foot traffic should be seen as an important element of the development of this area.

Mid and West Berkshire Local Access Forum:
 My understanding is that this shopping development already has full planning permission and will be built according to the plan appended to your email. The purpose of the diversion is to move the footpaths by a few metres so that they are aligned with the footways on the development; if the diversion is not approved, then the development would still proceed as per the plan, but the definitive line of the footpaths would go across the disabled parking spaces and other features of the development.

It therefore seems necessary to make the diversion. The impact on the PROW comes from the development itself, not the diversion. I therefore do not see any purpose in consulting the Forum membership.

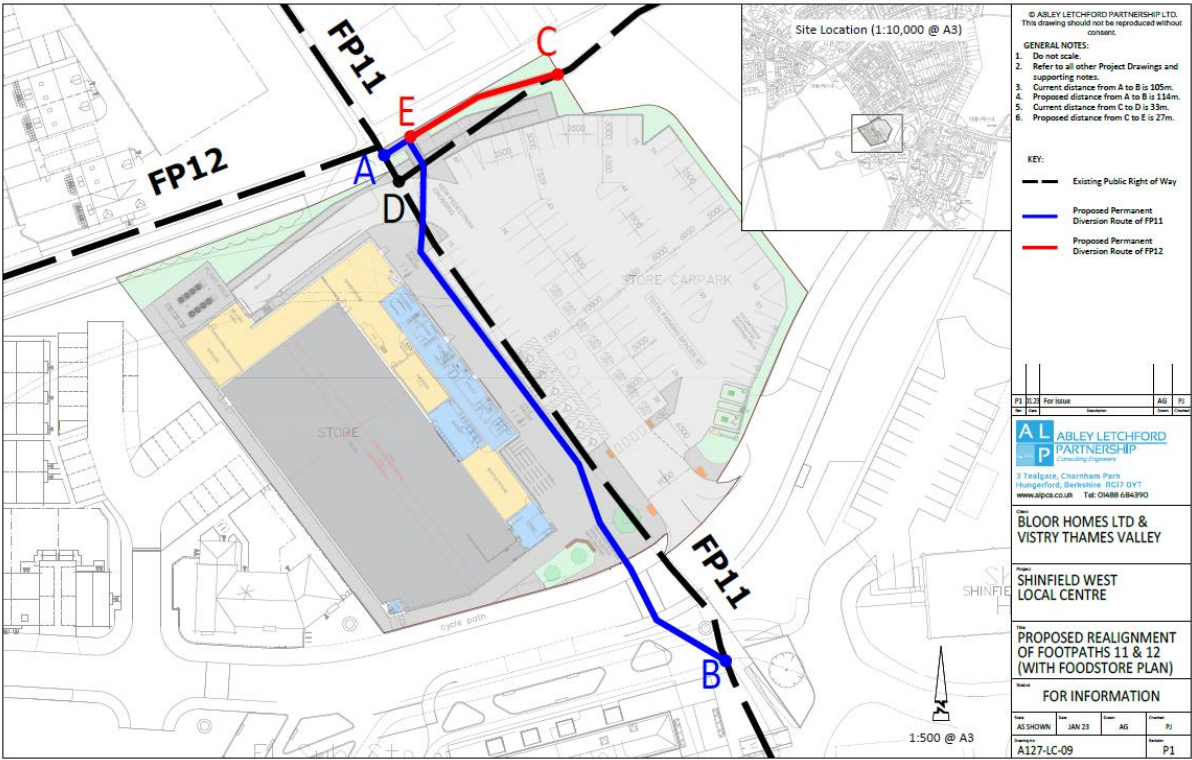
Open Spaces Society: No comments received.

Local BHS Rep: No comments received.

Local Ramblers: No comments received.

The Public Sector Equality Duty (Equality Act 2010)

In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.



This page is intentionally left blank

Application Number	Expiry Date	Parish	Ward
222513	19/04/2023	Wokingham Town	Evendons;

Applicant	Thomas Lawrence & Sons 6 Lake End Court Taplow Road Taplow, Maidenhead SL60JQ
Site Address	Lawrence Centre Oaklands Park Wokingham Wokingham RG41 2FE
Proposal	Full application for the proposed erection of 3no. general industrial units (Use Class B2) and associated changes to the existing parking spaces.
Type	Full
Officer	Senjuti Manna
Reason for determination by committee	Listed by Councillor Sarah Kerr

FOR CONSIDERATION BY	Planning Committee on Wednesday, 12 April 2023
REPORT PREPARED BY	Assistant Director – Place and Growth
RECOMMENDATION	APPROVAL subject to conditions and informatives

SUMMARY

The proposal relates to the erection of 3 additional general industrial units (Use Class B2) at Lawrence Centre, an existing industrial building consisting of 7 units within Oaklands Business Park. Two of the proposed units are to be erected as extensions to the existing building and one stand-alone unit to be sited on the opposite side. The site falls within the Molly Millars Lane Core Employment Area defined in the Core Strategy. The proposal satisfies Policy CP15 of the Core Strategy in terms of providing additional Class B use floorspace. It is also in accordance with the National Planning Policy Framework in providing an opportunity for the growth and expansion of the existing business. It is being undertaken in a sustainable location, including with regard to its proximity to public transport. The principle of the development is therefore acceptable.

The proposed units will be of appropriate design and will be in keeping with the general commercial/ industrial appearance of the business park. Whilst the buildings will be closer to the boundaries of residential properties at Blagrove Drive, the units nearer to the residential properties will have reduced eaves and ridge heights and will maintain acceptable back-to-flank separation in accordance with the Borough Design Guide minimum standards. Consequently, the proposal will not have any detrimental impact on neighbouring residential amenity. Conditions are included to secure additional landscaping and a noise mitigation plan to minimise any additional impact.

Whilst the proposal will result in reduction of existing car parking spaces, the remaining spaces will comply with the Council's parking standards buildings within B use class. A turning area for delivery vans is provided within the site, which is acceptable. There are no other concerns relating to the proposed development. The application is accordingly recommended for approval subject to conditions and informative as set out in this report.

RELEVANT PLANNING HISTORY

Application No.	Description	Decision & Date
F/1996/64054	Proposed Formation Of Mezzanine Floor For Storage Purposes at Unit 3	Approved 29/07/1996
F/1997/66269	Proposed Formation Of Mezzanine Floor For B1(C) Use at Unit 6	Approved 07/11/1997
F/2008/0383	Proposed erection of mezzanine floor and provision of windows to front and rear elevations at Unit 7	Approved 18/04/2008
F/2008/1133	Proposed erection of mezzanine floor covering approximately 75% of the internal floor area at Unit 4	Approved 02/07/2008
C/2008/2289	Application for submission of details to comply with the following condition of planning consent F/2008/0383: 3. Details of materials	Approved 07/11/2008

DEVELOPMENT INFORMATION

Proposed units	3 general industrial (Use Class B2)
Proposed density - dwellings/hectare	N/A
Number of affordable units proposed	N/A
Previous land use	N/A
Existing parking spaces	26
Proposed parking spaces	24
CONSTRAINTS	Major Development Location Overhead cables 15m buffer Water Utility Consultation Zones Contaminated Land Consultation Zone Heathrow Aerodrome Consultation Zone Bat Roost Habitat Suitability Core Employment Areas: Molly Millars Industrial Area Farnborough Aerodrome Consultation Zone Landfill Gas Consultation Zone Landscape Character Assessment Area J2: Settled and Farmed Clay SSSI Impact Risk Zones Adopted Highways Thames Basin Heaths SPA Mitigation Zones – 7km zone Flood Zone 1

CONSULTATION RESPONSES

WBC Environmental Health	Requested further information on noise generated by the proposed development (<u>Officer's note</u> : This is included in pre-commence condition no. 4).
--------------------------	---

WBC Drainage	No objections subject to condition securing drainage details.
WBC Highways	Requested additional information on turning facilities (<u>Officer's note</u> : Revised site plan has been submitted showing turning area within the site)
WBC Landscape and Trees	Requested further information on structural planting. (<u>Officer's note</u> : Additional trees and landscape information is provided. However, no planting details have been provided. Consequently, condition 6 is recommended).
WBC Ecology	No objections subject to conditions securing landscape scheme, external lighting scheme and construction environmental management plan.

REPRESENTATIONS

Town/Parish Council: The Wokingham Town Parish Council commented that they did not object to the application but would like to see solar panels implemented on the roofs of the new building, if possible. The Parish Council requested the officers to make appropriate judgement on loss of light and overbearing impacts on neighbouring properties. Also, suggested noise mitigation measures are to be considered.

Local Members: Cllr Sarah Kerr has objected to the proposal on loss of light and overbearing impacts on neighbouring residential amenity grounds and called the application in for committee determination if recommended for approval.

Neighbours: Neighbours were consulted on the original plans for 3 weeks starting from 30 September 2022. 14 letters were received from the occupants of the following properties:

36 Blagrove Drive; 89 Blagrove Drive; 91 Blagrove Drive; 93 Blagrove Drive; 95 Blagrove Drive; 97 Blagrove Drive; 101 Blagrove Drive; 105 Blagrove Drive.

All objected to the proposal on following grounds:

Neighbour amenity concerns:

- Loss of light – the proposed buildings will be located directly at the rear of 87 – 97 Blagrove Drive, at the bottom of their gardens. The proposal being significantly taller than the neighbouring residential properties will cause loss of light to the gardens and habitable rooms. Whilst a light survey has been submitted with the application, it does not take into account daily and seasonal light level impacts which could have a marked effect from the imposing structures. Additionally, since the survey was not conducted from within the neighbouring properties, the full impact on neighbouring houses cannot be determined.
- Overbearing – the proposed buildings will be significantly larger than the neighbouring houses and will dominate the outlook from the habitable windows and rear gardens of 89 – 95 Blagrove Drive resulting in claustrophobic environment.

- Noise disturbance – the proposed buildings being adjacent to the boundaries of 89 – 95 Blagrove Drive will have detrimental noise impact arising from the commercial use, both by traffic movements and additional people using the area closer to the western boundary.

Biodiversity Impact:

- The site has an established hedgerow along the western boundary that supports biodiversity. The proposal will result in total loss of this landscape feature.
- There are trees in the neighbouring residential gardens that will be negatively impacted by the proposed development. These trees have potential to host bat roosts and must be assessed prior to making a decision.

Highway safety matters:

- The spaces where the new units are proposed are currently used as vehicle turning that also allows access for emergency fire appliances should the need arise.

Other matters:

- Price of neighbouring residential properties will be negatively impacted by the proposed development.

Following discussion with the case officer, revised plans were submitted by the applicant which were consulted between 28 November 2022 and 19 December 2022. 3 letters were received from occupants of 89, 91 and 93 Blagrove Drive. All continued to object citing that the reduction of building height was minimal. Neighbour impacts such as noise, loss of light and overbearing were not considered to have been overcome by the revised plans. Whilst an additional 1m gap between the building and the neighbouring boundary was considered a welcome change, this will not reduce the negative impact on neighbouring properties.

(Officer's note: All the comments were given due consideration in determining the planning application. Issues such as impact on property value is not a material consideration in planning. Other objections including neighbouring amenity impact, biodiversity and highway safety are considered in the appraisal section below).

PLANNING POLICY

National Planning Policy Framework
National Design Guide
National Planning Practice Guidance

Core Strategy (CS)

- CP1 – Sustainable Development
- CP3 – General Principles for Development
- CP6 – Managing Travel Demand
- CP7 – Biodiversity
- CP8 – Thames Basin Heaths Special Protection Area
- CP9 – Scale and Location of Development Proposals
- CP15 – Employment Development

MDD Local Plan (MDD)

CC01 – Presumption in Favour of Sustainable Development
CC02 – Development Limits
CC03 – Green Infrastructure, Trees and Landscaping
CC04 – Sustainable Design and Construction
CC06 – Noise
CC07 – Parking
CC09 – Development and Flood Risk
CC10 – Sustainable Drainage
TB11 – Core Employment Areas
TB20 – Service Arrangements and Deliveries for Employment and Retail Use
TB21 – Landscape Character

Other

Borough Design Guide Supplementary Planning Document

PLANNING ISSUES

Description of Development:

1. The proposal relates to the erection of 3 additional general industrial units (Use Class B2) at Lawrence Centre – two as extension to the existing general industrial building and one stand-alone unit to be sited on the opposite side. The extension would project by 12m from the side elevation of the building and will have a depth of 14.8m. The first unit will have a dual pitched roof that will continue the eaves and ridge heights of the existing building which are measured at 7.95m and 5.75m respectively. The last unit of the extension as well as the stand-alone unit will have dual pitched roofs of 6.27m ridge height and 4.2m of eaves height.

Site Description and its Surroundings:

2. The application site is located with Oaklands Park, which is an established industrial/business estate of Wokingham. The site contains an existing building of general industrial and warehouse uses which comprises of 7 no. units – some of which contain mezzanine floors. The front and side of the building are currently used for parking and an existing turning head separates the building from the adjacent residential properties at Blagrove Drive, located to the west. Various industrial buildings occupy the north, south and eastern sides of the application building.
3. Although the building is located adjacent to residential uses, it visually appears part of the wider industrial estate which include a range of B2, B8 and E uses in the area including general and light industrial, warehouses, and offices. The site is completely covered by hardstanding and there is no existing trees within the site. However, existing hedgerows run along all four boundaries. An electric pylon is located at the rear of the existing building.

Principle of Development:

4. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. In this case the Development Plan comprises the Core Strategy (CS) and the Managing

Development Delivery Local Plan (MDD). Policy CC01 of the MDD Local Plan states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.

5. Policy CC02 of the MDD sets out the development limits for each settlement as defined on the policies map and therefore replaces the proposals map adopted through Policy CP9 of the Core Strategy. This sets out that proposals within development limits will be acceptable in principle, having regard to the service provisions associated with the major, modest and limited categories.
6. The site is located within Major Development Location of Wokingham and as such the development should be acceptable subject to assessment of the impact of the development on the character of the area, existing street scene, the amenity of the neighbouring occupiers and highway safety.
7. The site is also located within Molly Millars Lane Core Employment Area. Policy CP15 of the Core Strategy allows for the redevelopment, refurbishment or minor extension of buildings in employment use where they are in the settlement limits and where there is no net loss of Class B floor space. The proposal would result in a net increase of 208.2 m² of Class B floor spaces within the boundaries of the Molly Millars Core Employment Area. The proposal is therefore in accordance with Policy CP15 in terms of providing additional employment floor space within the borough.
8. Similarly, the National Planning Policy Framework has an overriding emphasis for building on a strong, competitive economy, with Paragraph 81 stating that decisions *'should help create the conditions in which businesses can invest, expand and adapt. Significant weight should be placed on the need to support economic growth and productivity, taking into account both local business needs and wider opportunities for development.'*
9. The proposal will result in extension of an existing general industrial building, thus contributing to the expansion of the business. As such, the proposal complies with the NPPF as well as Policy CP15 and is acceptable.

Character of the area:

10. Policy CP3 of the Core Strategy states that development must be appropriate in terms of its scale, mass, layout, built form, height and character of the area and must be of high-quality design. Section R1 of the Borough Design Guide SPD requires that development contribute positively towards and be compatible with the historic or underlying character and quality of the local area.
11. The application site is located with the existing industrial estate of Oaklands Business Park with residential properties on Blagrove Drive located along the western boundary of the site. There are other industrial buildings of varying design located within the immediate neighbourhood. The existing building on site comprises of 7 no. units, some of which include mezzanines, that are currently being used for general industrial purposes (Use Class B2). These units are constructed with yellow blockworks and corrugated metal roof. 5 of the units are fitted with rolling shutters in the front elevation.

12. The proposal is for the erection of three additional B2 units – two as an extension to the existing building and one as a stand-alone unit on the opposite side. All units are proposed to be constructed with matching materials and will include a combination of rolling shutters and glazed fenestration in the front. The ridge and eaves height of the existing building will be extended over the proposed first unit. As such, this unit will visually represent a logical extension of the building. Whilst the eaves and ridge height of the remaining two units closer to the residential boundaries are proposed to be lower to minimise neighbour impact, due to their appropriate design, they will not negatively impact the general industrial appearance of the building and the neighbourhood. Moreover, the surrounding industrial estate includes buildings of varying design and height and consequently, the proposal will not appear out of character when seen within the wider industrial/ commercial context of Oaklands Business Park.
13. The proposal retains existing access and parking arrangements within the site. Whilst the parking is proposed to be reorganised to include disable parking bays, it will not alter the appearance of the front court and as such, the proposal is not considered to have any significant impact on the character of the host building as well as general character of the neighbourhood.

Residential Amenities:

14. Policy CP3 of the Core Strategy aims to protect neighbouring amenity and section R23 of the Borough Design Guide SPD required that extensions relate well to neighbouring properties. Objections were received from neighbouring properties on overbearing, loss of light and noise disturbance impacts.
15. Overbearing and loss of light: The application site is located at the western edge of Oaklands Park and shares boundary with residential properties at Blagrove Drive. These dwellings are currently sited a minimum of 27m from the flank wall of the existing building. The proposal will bring the flank wall within 14.5m of the rear habitable windows of no. 91 Blagrove Drive and within 16.5m of the rear habitable windows of no. 93 Blagrove Drive. Similarly, the single unit will be within 16m of the flank wall of no. 89 Blagrove Drive.
16. The proposal has been amended from the original version to reduce the eaves and ridge heights of the units closer to the residential properties to minimise impact. The proposed eaves and ridge heights are 4.2m and 6.3m respectively, which are similar to eaves and ridge heights of 1.5 storey residential properties. The Borough Design Guide SPD recommends a minimum back to flank separation distance of 12m for properties with 1 to 2 storeys to limit sense of enclosure (page 47). The proposal will maintain acceptable separation distance and will not result in detrimental overbearing or sense of enclosure. Moreover, the proposed dual pitched roofs will slope away from the shared boundary with residential properties and will not appear overbearing. Additionally, it is proposed to enhance the landscaping along the shared boundary to soften the hard edges of the new building. Overall, the proposal is considered acceptable in terms of its overbearing impact.
17. In terms of loss of light impact, the proposal will have a degree of overshadowing, particularly in the summer mornings. However, the main overshadowing impact will be felt near the shared boundaries which is away from the main rear private amenity area and habitable windows. Additionally, no. 89 does not have any habitable

windows in the flank elevation facing the single unit. Consequently, the proposal will not adversely impact the neighbouring residential amenities as to warrant a refusal.

18. Overlooking: The proposal does not include any fenestration in the flank elevations facing the residential properties. Consequently, there will not be any overlooking impact on residential amenity. Outlook from the front of the units will be restricted either by the units within the application site or over the industrial site to the north. As such, no detrimental loss of privacy issues will arise.
19. Noise: The proposal will result in additional activities near the shared boundary with residential properties. No noise assessment report has been submitted with the application to demonstrate potential noise impact on the residential properties. Whilst WBC Environmental Health officers have not objected to the proposal, they have requested noise impact assessment to be carried out prior to the commencement of the development and any mitigation measures that the report identifies, will have to be fully implemented prior to occupation. This is secured by condition 4. Subject to this condition, there is no objection to the proposal on noise disturbance grounds.

Access and Movement:

20. Car Parking: Policy CC07 and Appendix 2 of the MDD Local Plan stipulates minimum off street parking standards, including provision for charging facilities. The proposal will result in additional B2 floorspace and the Council's parking standard results in the following proposed parking requirements:

User Class	Area (m ²)	Parking Rate	Parking Required
B2	856.9	Up to 250m ² = 1 space per 25m ² Above 250m ² = 1 space per additional 50m ²	10 + 13 = 23

21. The proposal includes 24 parking spaces with two disabled parking bays. This meets the Council's parking standards, and no objection is raised. However, since no electric vehicle charging details have been provided, it is secured using a condition.
22. Turning: The proposal includes a turning area within the site which is acceptable. Subject to condition securing parking and turning area to be retained, there is no objection to the proposal on this ground.
23. Cycle Parking: Policy CC07 and Appendix 2 of the MDD Local Plan stipulates minimum cycle parking standards. One space is required per 150m² – 200m² of floorspace, depending upon the Class B use. The proposal does not include any cycle parking details and it is considered reasonable to secure the same using condition 9.
24. Accessibility: The proposal includes 2 disabled parking bays and level access from the road to all units. Additionally, the new units will each have separate entrance and accessible WC. This is acceptable.

25. Construction Management: Given the extent of the proposed works and location of the site near residential properties, a framework for construction method statement is secured using Condition 5.

Flooding and Drainage:

26. Whilst the proposal is going to result in additional building footprint, since the site is within flood zone 1 and the extensions will be constructed on existing hardstanding, there is no objection to the proposal on flooding and drainage grounds.

Trees and Landscape:

27. The site itself does not contain any trees but is surrounded by structural landscaping on all sides which helps to screen the business park from the housing as well as providing a setting for the units. The landscaping consists of well-maintained hedges of mixed species and includes some off-site trees.
28. The proposal will result in additional units closer to the existing hedgerows and remove the existing turning areas. The Council's Trees and Landscape officer suggested amending the scheme to include turning area within the site and additional landscaping along the boundary with residential properties. An amended scheme has now been submitted which includes on-site turning and additional landscaping along the boundary and this is acceptable. However, since the amended scheme does not include that planting details, it is considered reasonable to secure them using condition 6.

Ecology:

29. A Preliminary Roost Assessment and Bat Emergence and Re-entry Surveys by Arbtech have been submitted with the application. These surveys have been carried out following appropriate methodology and conclude that there is negligible likelihood of bat roost present in the existing building. This is acceptable and no objection is raised. Additional planting is secured by condition 6 which will contribute to enhancing biodiversity within the site.
30. The WBC Ecology officer has requested conditions to secure an external lighting scheme and construction environment management plan. The site is within an existing commercial area with existing external lighting. It is considered that any additional lighting in connection with the three new units will not have significant harmful impact. A construction management plan is secured by condition 5.

Other:

31. There are no objections to the proposal with regard to Thames Basin Heath Special Protection Area; land contamination; and archaeology. The subject scheme is acceptable in all other aspects.

Conclusion:

32. The proposed erection of 3 general industrial (Use Class B2) units at Lawrence Centre, Oaklands Business Park to create additional B2 floorspace complies with policy CP15 of the Core Strategy and is acceptable in principle. The proposals have

appropriate visual character in the context of the surrounding built form, and it includes acceptable provision for parking and access, subject to satisfactory compliance with Conditions 8, 9, and 10. Neighbour amenity is protected by Conditions 5, and 7, and noise mitigation is outlined in Condition 4, amongst other conditions. The proposals also accord with the intent of the NPPF by allowing for the ongoing expansion and growth of an existing commercial building in Wokingham, thus allowing for economic development. Based on these reasons it is recommended that the application is approved subject to conditions included in this report.

The Public Sector Equality Duty (Equality Act 2010)

In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

APPENDIX 1 - Conditions and informatives

1. Timescale

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. Approved details

This permission is in respect of the submitted application plans and drawings numbered P-1586/06 (Location Plan); and Design and Access Statement for Planning by CSK Architects received by the local planning authority on 16/08/2022; Preliminary Bat Roost Assessment by Arbtech dated 26/09/2022 and Bat Emergence and Re-entry Surveys dated 26/09/2022 received by the local planning authority on 20/10/2022; drawings numbered P-1686/01 C (Site/Ground Floor Plan Existing & Proposed); P-1686/03 B (Site Elevations Proposed); Letter from Boyer dated 8 March 2023; and Design and Access Statement for Planning Rev A dated 07.03.2023 by CSK Architects received by the local planning authority on 14/03/2023. The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. External Finishes to Match

The materials to be used in the construction of the external surfaces of the extension hereby permitted shall be of a similar appearance to those used in the existing building unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: To ensure that the external appearance of the building is satisfactory.
Relevant policy: Core Strategy policies CP1 and CP3.

4. Measures to Minimise Noise

Before the development hereby permitted commences a scheme shall be submitted to and approved in writing by the local planning authority which specifies the provisions to be made for the control of noise emanating from all plant, machinery and equipment installed or operated in connection with the carrying out of this permission and the approved scheme shall be fully implemented prior to the occupation of the building(s).

Reason: To ensure that no nuisance or disturbance is caused to the occupiers of neighbouring properties. Relevant policy: NPPF Section 15, Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

5. Construction Management Plan

Prior to the commencement of the development hereby permitted, including any works or demolition, a Construction Management Plan is to be submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the construction period and shall provide for:

- a) The parking of vehicles of site operatives and visitors
- b) Loading and unloading of plant and materials
- c) Storage of plant and materials used in constructing the development
- d) The erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate
- e) Wheel washing facilities
- f) Measures to control the emission of dust and dirt during construction
- g) A scheme for recycling/disposing of waste resulting from demolition and construction works

Reason: In the interests of highway safety and convenience and neighbour amenities. Relevant policy: Core Strategy policies CP3 and CP6.

6. Landscaping

Prior to the commencement of the development, there shall be submitted to and approved in writing by the local planning authority a scheme of landscaping, which shall specify species, planting sizes, spacing and numbers of trees/shrubs to be planted, and any existing trees or shrubs to be retained.

Planting shall be carried out in accordance with the approved details in the first planting and seeding seasons following the occupation of the building(s).

Any trees or plants which, within a period of 5 years from the date of the planting (or within a period of 5 years of the occupation of the buildings in the case of retained trees and shrubs) die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species or otherwise as approved in writing by the local planning authority.

Reason: To ensure adequate planting in the interests of visual amenity and biodiversity. Relevant policy: Core Strategy policy CP3 and CP7 and Managing Development Delivery Local Plan policies CC03, TB21 and TB23.

7. Hours of Work

No work relating to the construction of the development hereby approved, including works of demolition or preparation prior to building operations, shall take place other than between the hours of 08:00 and 18:00 Monday to Friday and 08:00 to 13:00 Saturdays and at no time on Sundays or Bank or National Holidays.

Reason: To protect the occupiers of neighbouring properties from noise and disturbance outside the permitted hours during the construction period. Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

8. Parking and turning space to be provided

No part of any building(s) hereby permitted shall be occupied or used until the vehicle parking and turning space has been provided in accordance with the approved plans. The vehicle parking and turning space shall be retained and maintained in accordance with the approved details and the parking space shall remain available for the parking of vehicles at all times and the turning space shall not be used for any other purpose other than vehicle turning.

Reason: To ensure adequate on-site parking provision in the interests of highway safety, convenience and amenity. Relevant policy: Core Strategy policies CP3 and CP6 and Managing Development Delivery Local Plan policy CC07.

9. Cycle Parking to be Approved

Prior to the first occupation of the development hereby permitted, details of secure and covered bicycle storage/ parking facilities shall be submitted to and approved in writing by the local planning authority. The cycle storage/ parking shall be implemented in accordance with such details as may be approved before occupation of the development hereby permitted, and shall be permanently retained in the approved form for the parking of bicycles and used for no other purpose.

Reason: In order to ensure that secure weather-proof bicycle parking facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: NPPF Section 9 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

10. Electric Vehicle Charging

Prior to first occupation, details of electric vehicle charging within the car park shall be submitted to the Council for written approval. The details as approved shall be installed prior to first occupation, and shall be maintained thereafter, unless otherwise agreed in writing with the Council.

Reason: In order to ensure that secure electric vehicle charging facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: NPPF Section 9 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

11. Delivery and Servicing Plan

Prior to the first occupation of the buildings hereby approved, a Delivery and Servicing Plan be submitted to and approved in writing by LPA. The Delivery and Servicing

Plan shall be implemented in accordance with approved details within 3 months of the occupation of the development and shall be retained in the approved form.

Reason: In the interests of highway safety and convenience. Relevant policies: Core Strategy policies CP3 & CP6.

12. No Additional Floorspace

No additional floorspace including mezzanine floors shall be constructed within the development hereby permitted without prior written permission of the Local Planning Authority.

Reason: To prevent an over-development of the site and to ensure adequate parking. Relevant policy: Core Strategy policies CP1, CP3 and CP6 and Managing Development Delivery Local Plan policy CC07.

Informatives:

1. Pre-commencement Conditions

The applicant is reminded that this approval is granted subject to conditions which must be complied with prior to the development starting on site. Commencement of the development without complying with the pre-commencement requirements may be outside the terms of this permission and liable to enforcement action. The information required should be formally submitted to the Council for consideration with the relevant fee. Once the details have been approved in writing the development should be carried out only in accordance with those details. If this is not clear, please contact the case officer to discuss.

2. Great Crested Newts

Should any Great Crested Newts or evidence of Great Crested Newts be found prior to or during the development, all works must stop immediately, and an ecological consultant or the Council's ecologist contacted for further advice before works can proceed. All contractors working on site should be made aware of the advice and provided with the contact details of a relevant ecological consultant.

3. Discussion

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of:

- amended plans being submitted by the applicant to overcome concerns relating to neighbouring amenity, highway safety and landscaping.

The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

APPENDIX 2 - Parish Council Comments (Where relevant)

PLANNING REF : 222513
PROPERTY ADDRESS : Town Hall Market Place
: Wokingham
: RG40 1AS
SUBMITTED BY : The Wokingham Town Council P&T Committee
DATE SUBMITTED : 15/12/2022

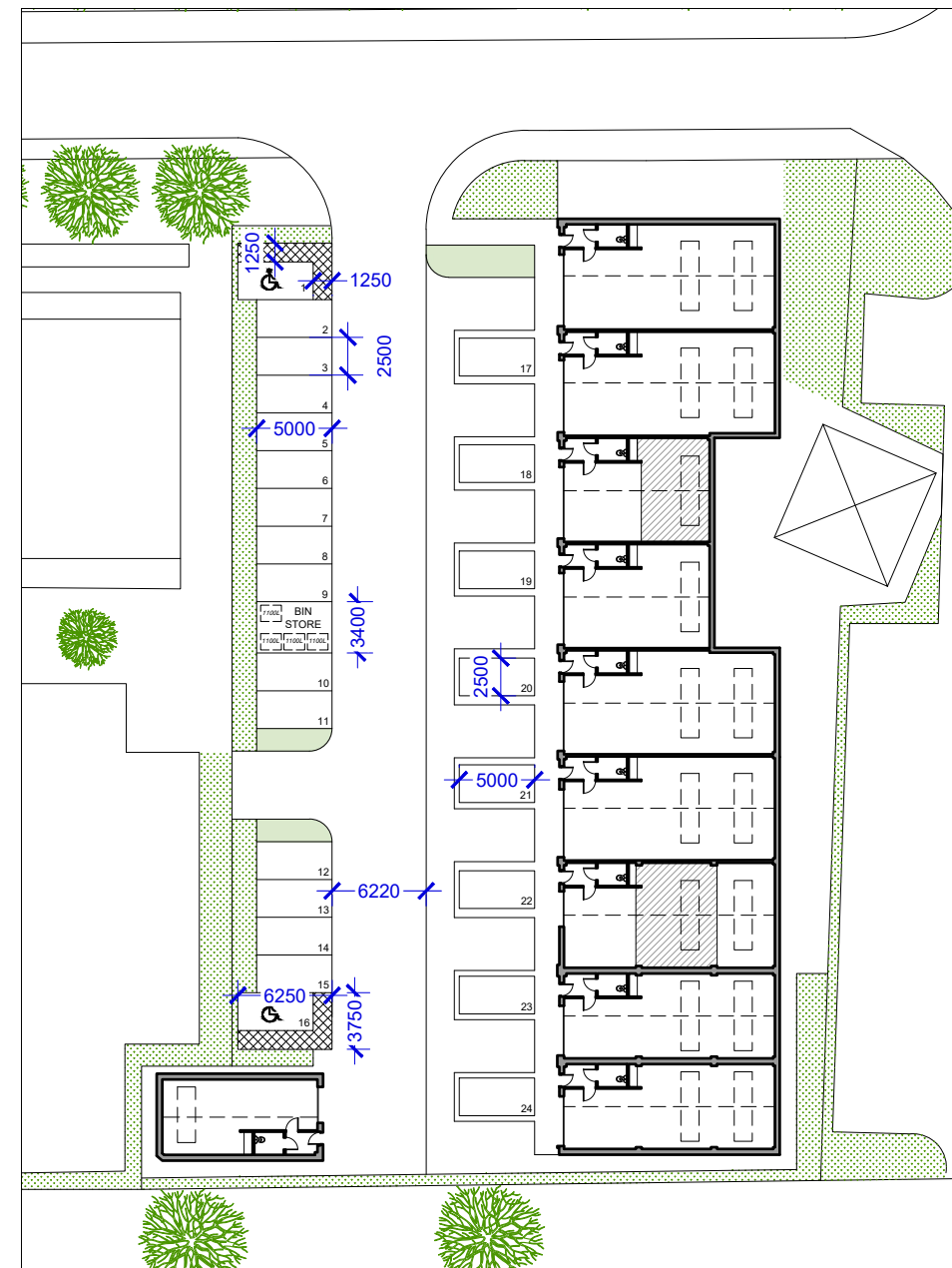
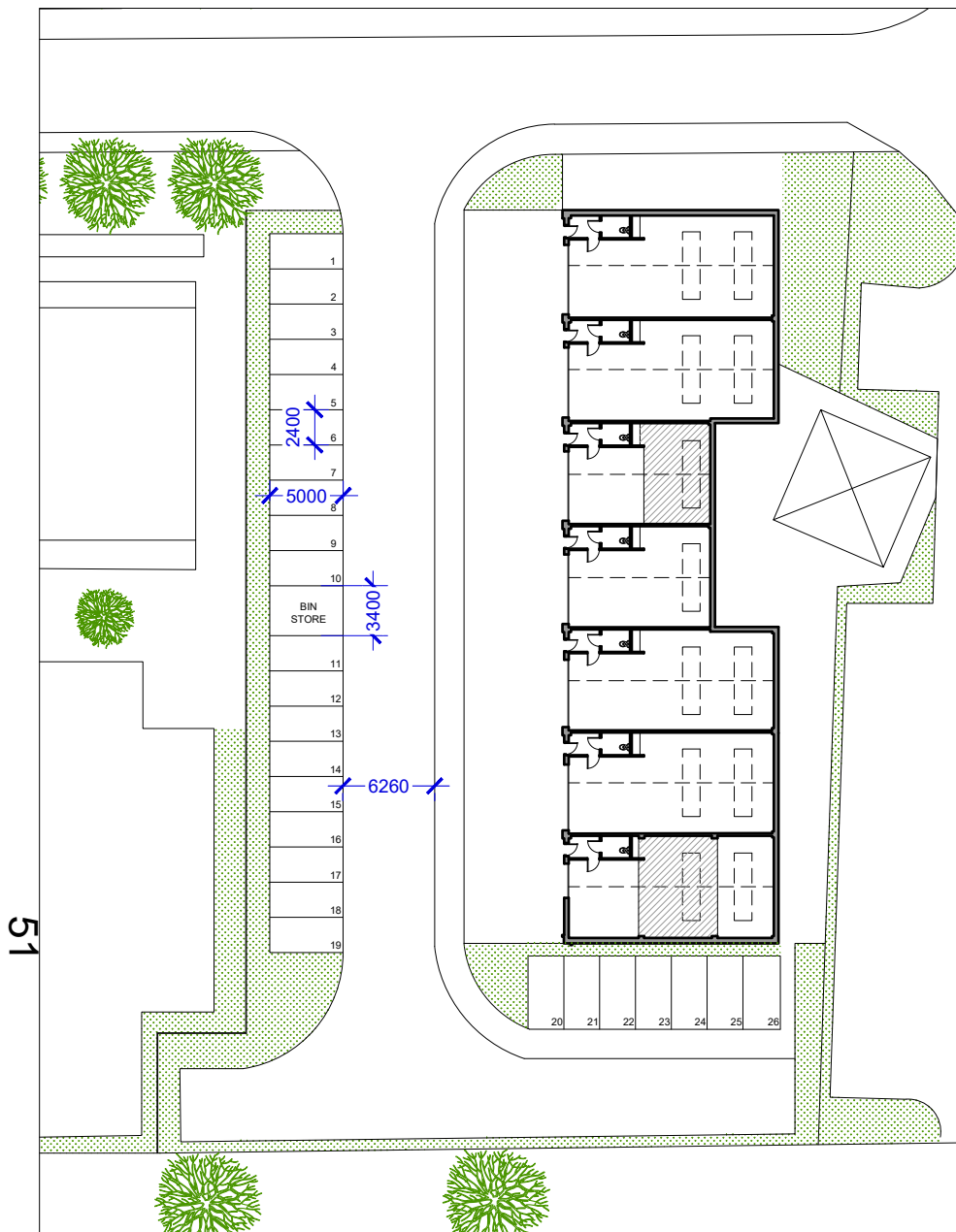
COMMENTS:

The Committee do not object to the application but would like to see solar panels implemented on the roofs of the new buildings if possible.

The Committee trust that the Planning Officer will consider and any impact on light reduction and overbearing on nearby housing.

Any sound mitigation within the development would be welcomed.

This page is intentionally left blank



Existing plan

Proposed plan

NOTES:

EXISTING Warehouse Area: 613.1m² (GIA)
 // +68.7m² (approximate tenant installed 1st floor mezzanines)

Wokingham Borough Council Parking Standards Study Report Consultation Document:

General Industrial - Class B1:

- "up to 250m² = 1 space/25m²
above 250m² = 1 space per/additional 50m²"
- "Between 10 - 50 total spaces should include provision of 2-4 accessible parking spaces"

PROPOSED Warehouse Area - (Total: 856.9m)

250m² = 10no. parking spaces
 606.9m² = 13no. p. spaces (rounded to the next full number)

- Proposed Parking Spaces = 23 (inc. 2 accessible)

Wokingham Borough Council Refuse Standards
 General Industrial - 5 liters per 1m²
 856.9m² requires 4285 liters = x4 1100 liters large 4-wheel bins

NB. All dimensions and areas indicated are approximate and should be checked on site.

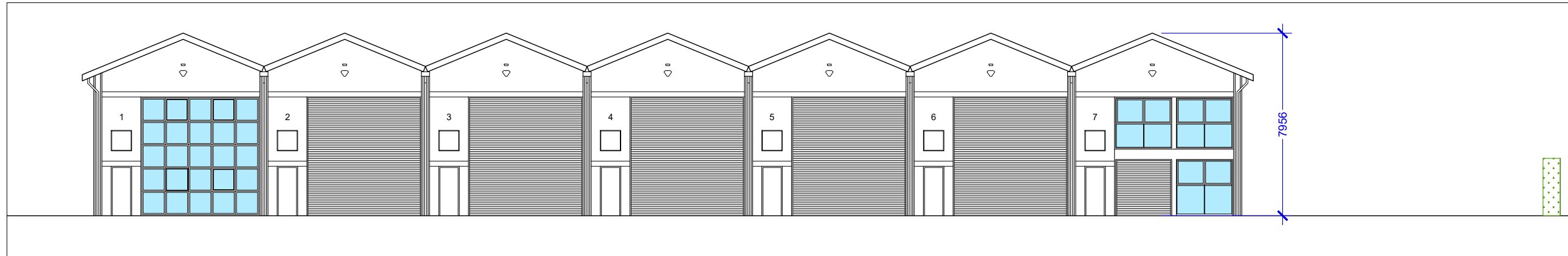
REV	DATE	NOTES
C	03.02.2023	Issued for planning - Updated parking layout
B	24.11.2022	Issued for planning - Corrected dimensions
A	30.09.2022	Issued for planning at a requested scale (1:500)
/	12.08.2022	Issued for planning

CAD file location: 1686 -- Drawings -- Preliminary -- Site Plan

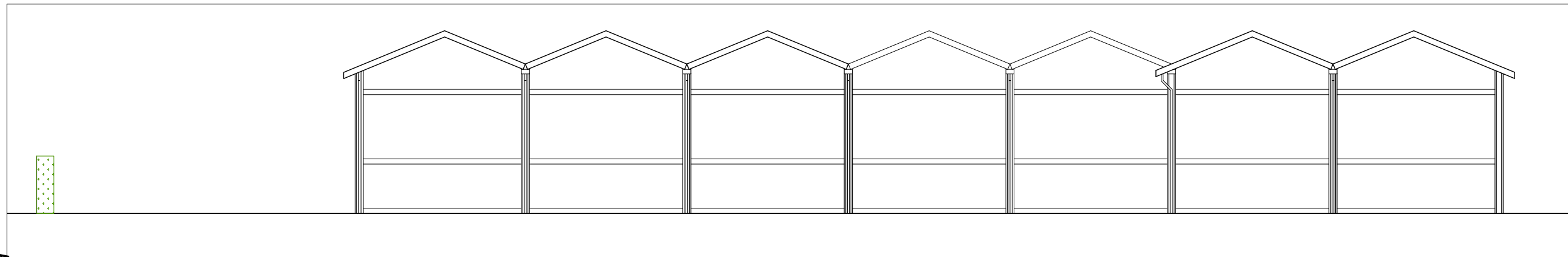
DO NOT SCALE FROM THIS DRAWING IN EITHER PAPER OR DIGITAL FORM. © CSK ARCHITECTS LTD. THE COPYRIGHT IN ANY DRAWINGS AND OTHER MATERIAL PRODUCED BY CSK ARCHITECTS IS OWNED BY CSK ARCHITECTS AND NO LICENCE TO USE OUR COPYRIGHT MATERIAL IS GIVEN OR IMPLIED UNLESS PAYMENT OF OUR AGREED FEES HAS BEEN MADE IN FULL. USE OF OUR COPYRIGHT MATERIAL IS THEN PERMITTED ONLY IN RELATION TO THE PROJECT FOR WHICH WE HAVE BEEN PAID BY YOU. THIS DRAWING TO BE READ WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT

PLANNING ISSUE		OCT 2021	DRAWN BY	JO
The Lawrence Centre	Wokingham	RG41 2FE	1:500 @ A3	CHECKED BY
SITE/GF FLOOR PLAN EXISTING & PROPOSED			P-1686/01	C

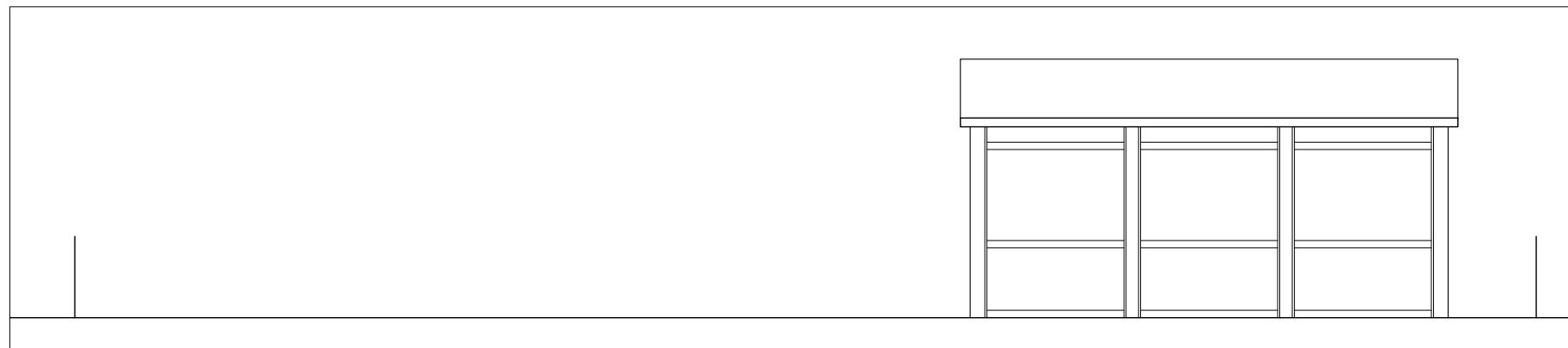
This page is intentionally left blank



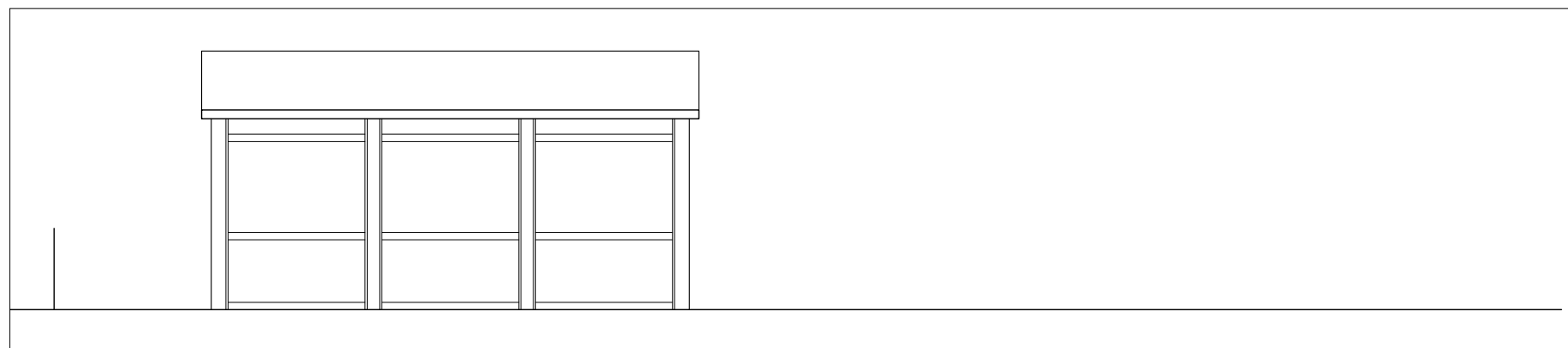
NORTH WEST ELEVATION



SOUTH EAST ELEVATION



SOUTH WEST ELEVATION



NORTH EAST ELEVATION

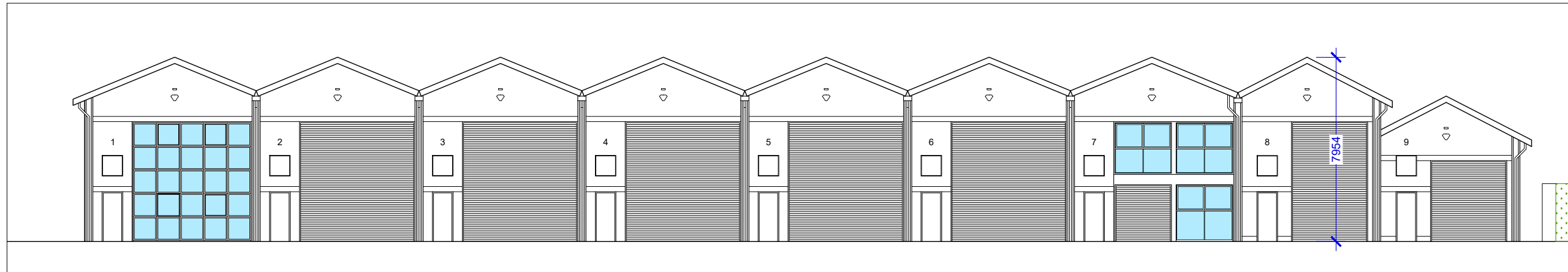
NOTES:

SITE PLAN : NTS

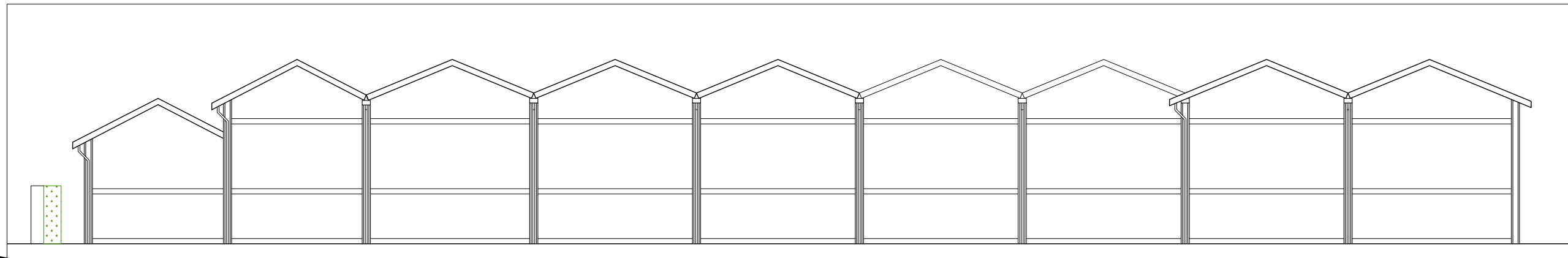
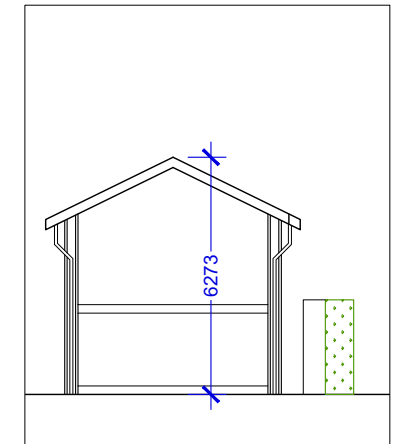
A	23.11.2022	Issued for planning - Dimensions corrected
/	12.08.2022	Issued for planning
REV	DATE	NOTES
CAD file location: 1686 -- Drawings -- Preliminary -- Site Elevations		
DO NOT SCALE FROM THIS DRAWING IN EITHER PAPER OR DIGITAL FORM. © CSK ARCHITECTS LTD. THE COPYRIGHT IN ANY DRAWINGS AND OTHER MATERIAL PRODUCED BY CSK ARCHITECTS IS OWNED BY CSK ARCHITECTS AND NO LICENCE TO USE OUR COPYRIGHT MATERIAL IS GIVEN OR IMPLIED UNLESS PAYMENT OF OUR AGREED FEES HAS BEEN MADE IN FULL. USE OF OUR COPYRIGHT MATERIAL IS THEN PERMITTED ONLY IN RELATION TO THE PROJECT FOR WHICH WE HAVE BEEN PAID BY YOU. THIS DRAWING TO BE READ WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT		

PLANNING ISSUE		JUNE 2021	DRAWN BY	SM
The Lawrence Centre	Wokingham	RG41 2FE	1:200 @ A3	CHECKED BY GE
SITE ELEVATIONS Existing			P-1686/02	A

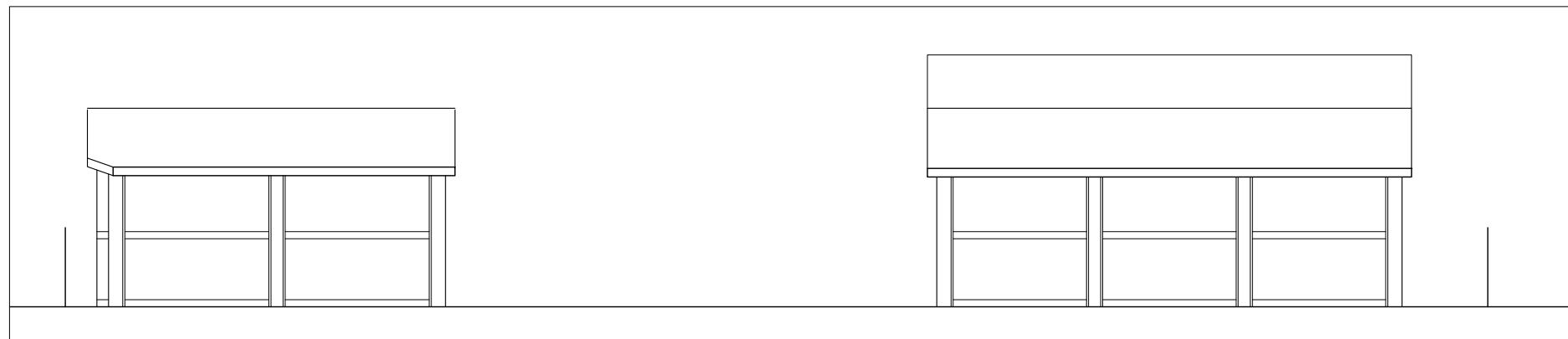
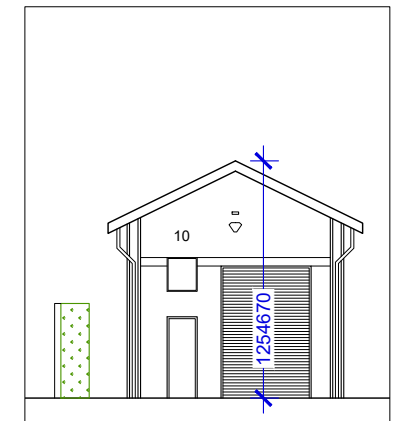
This page is intentionally left blank



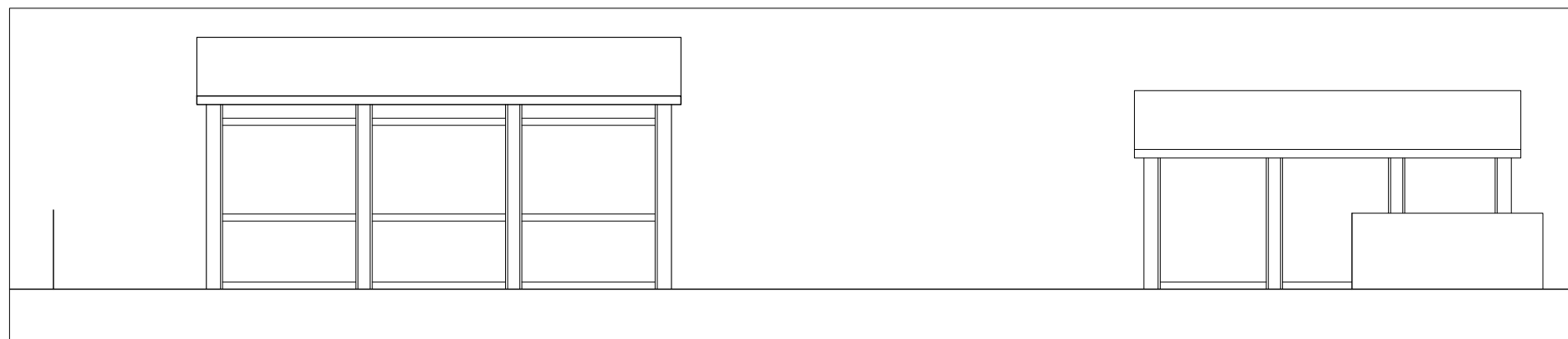
NORTH WEST ELEVATION



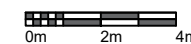
SOUTH EAST ELEVATION



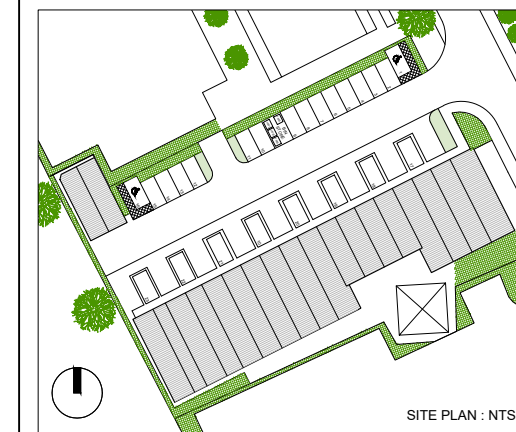
SOUTH WEST ELEVATION



NORTH EAST ELEVATION



NOTES:



B	23.11.2022	Issued for planning - Correct dimensions
A	18.11.2022	Issued for planning - Indicated existing hedge - Units 8 - 9 - 10 reduced in size - Units 9 - 10 roof made lower
/	12.08.2022	Issued for planning
REV	DATE	NOTES

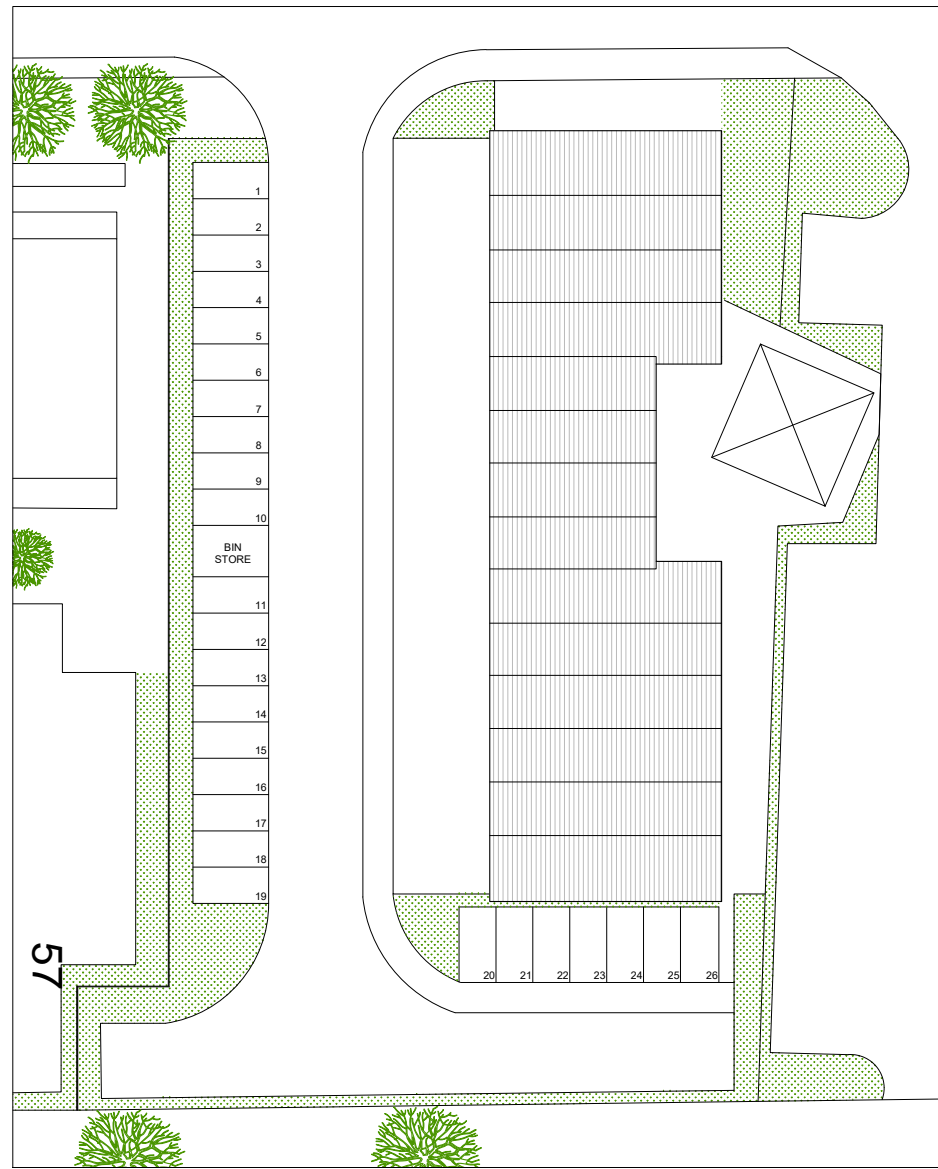
CAD file location: 1686 -- Drawings -- Preliminary -- Site Elevations

DO NOT SCALE FROM THIS DRAWING IN EITHER PAPER OR DIGITAL FORM. © CSK ARCHITECTS LTD. THE COPYRIGHT IN ANY DRAWINGS AND OTHER MATERIAL PRODUCED BY CSK ARCHITECTS IS OWNED BY CSK ARCHITECTS AND NO LICENCE TO USE OUR COPYRIGHT MATERIAL IS GIVEN OR IMPLIED UNLESS PAYMENT OF OUR AGREED FEES HAS BEEN MADE IN FULL. USE OF OUR COPYRIGHT MATERIAL IS THEN PERMITTED ONLY IN RELATION TO THE PROJECT FOR WHICH WE HAVE BEEN PAID BY YOU. THIS DRAWING TO BE READ WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

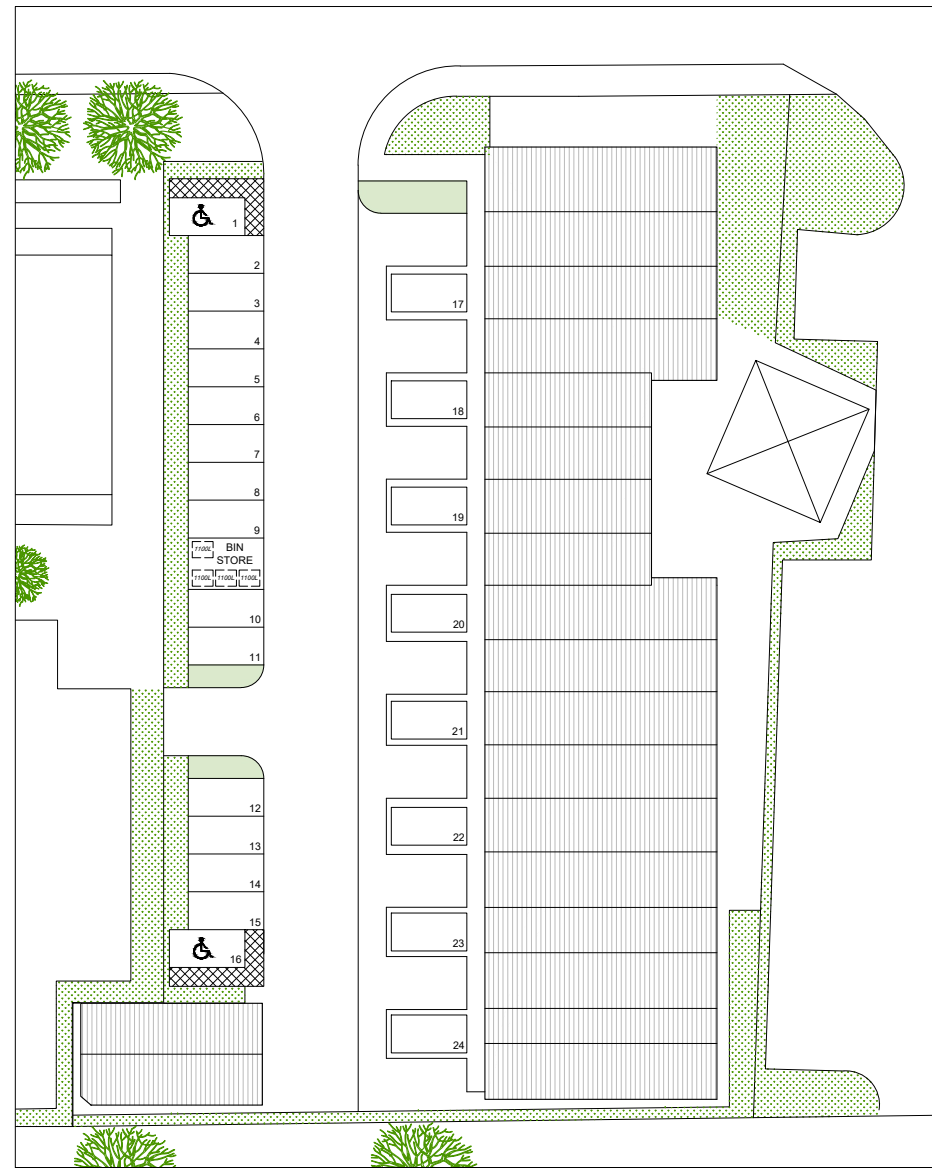
PLANNING ISSUE		OCT 2021	DRAWN BY	SM/JO/GP
The Lawrence Centre	Wokingham	RG41 2FE	1:200 @ A3	CHECKED BY
SITE ELEVATIONS Proposed			P-1686/03	B

CSK CHARTERED ARCHITECTS
93A HIGH STREET ETON BERKSHIRE SL4 6AF T.01753 840519 CSKARCHITECTS.CO.UK

This page is intentionally left blank



Existing plan



Proposed plan

NOTES:



REV	DATE	NOTES
C	03.02.2023	Issued for planning - Updated parking layout
B	24.11.2022	Issued for planning - Corrected dimensions
A	18.11.2022	Issued for planning - Indicated existing hedge to south west boundary - Units 8 - 9 - 10 reduced in size
/	12.08.2022	Issued for planning

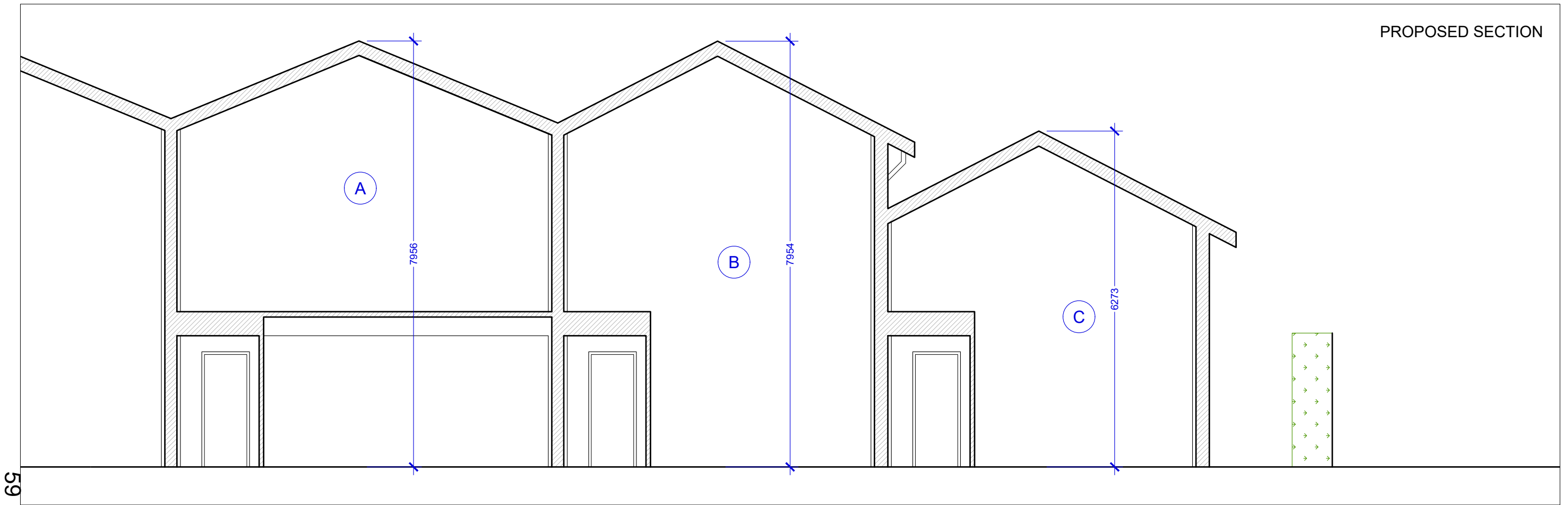
CAD file location: 1686 -- Drawings -- Preliminary -- Site Plan

DO NOT SCALE FROM THIS DRAWING IN EITHER PAPER OR DIGITAL FORM. © CSK ARCHITECTS LTD. THE COPYRIGHT IN ANY DRAWINGS AND OTHER MATERIAL PRODUCED BY CSK ARCHITECTS IS OWNED BY CSK ARCHITECTS AND NO LICENCE TO USE OUR COPYRIGHT MATERIAL IS GIVEN OR IMPLIED UNLESS PAYMENT OF OUR AGREED FEES HAS BEEN MADE IN FULL. USE OF OUR COPYRIGHT MATERIAL IS THEN PERMITTED ONLY IN RELATION TO THE PROJECT FOR WHICH WE HAVE BEEN PAID BY YOU. THIS DRAWING TO BE READ WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT

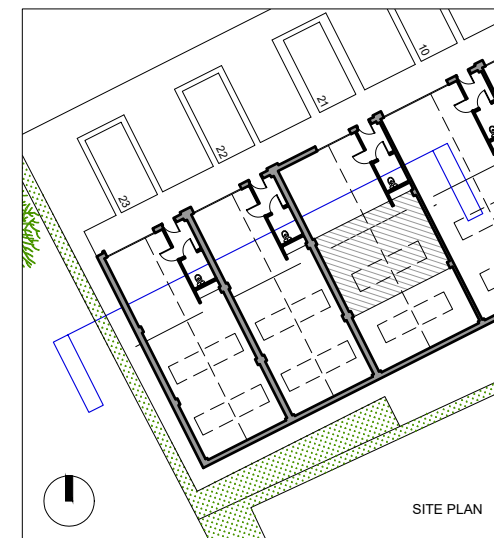
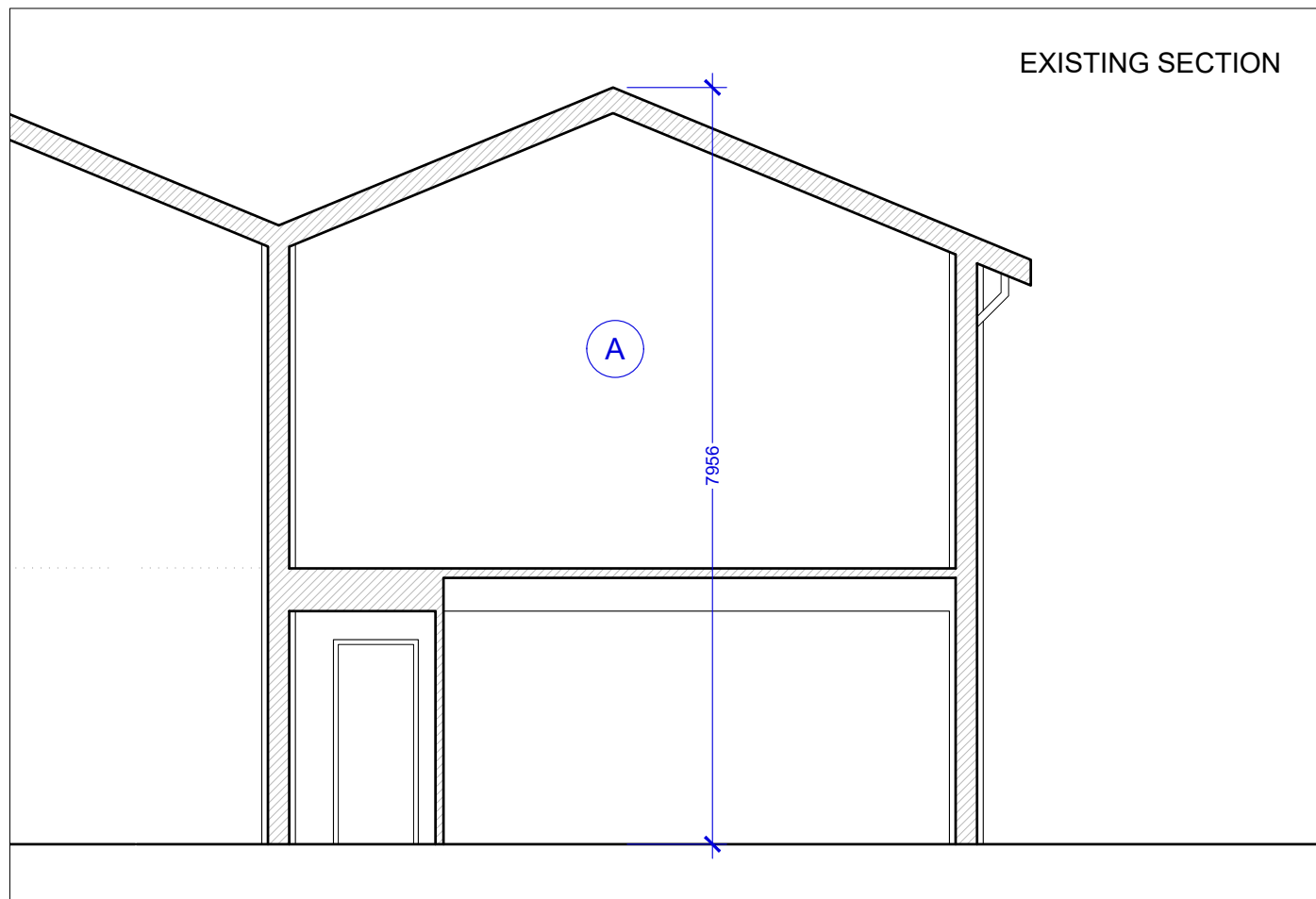
PLANNING ISSUE		OCT 2021	DRAWN BY	JO/GP
The Lawrence Centre	Wokingham	RG41 2FE	1:500 @ A3	CHECKED BY
ROOF PLAN Existing & Proposed			P-1686/07	C

This page is intentionally left blank

PROPOSED SECTION



EXISTING SECTION



NOTES:

- A. Unit 7 - Existing
- B. Unit 8 - Proposed
- B. Unit 9 - Proposed

C	14.03.2023	Issued for planning with revised parking
B	23.11.2022	Issued for planning with revised sizes
A	30.09.2022	Issued for planning with revised mezzanines
/	12.08.2022	Issued for planning
REV	DATE	NOTES

CAD file location: 1686 -- Drawings -- Preliminary -- Site Elevations

DO NOT SCALE FROM THIS DRAWING IN EITHER PAPER OR DIGITAL FORM. © CSK ARCHITECTS LTD. THE COPYRIGHT IN ANY DRAWINGS AND OTHER MATERIAL PRODUCED BY CSK ARCHITECTS IS OWNED BY CSK ARCHITECTS AND NO LICENCE TO USE OUR COPYRIGHT MATERIAL IS GIVEN OR IMPLIED UNLESS PAYMENT OF OUR AGREED FEES HAS BEEN MADE IN FULL. USE OF OUR COPYRIGHT MATERIAL IS THEN PERMITTED ONLY IN RELATION TO THE PROJECT FOR WHICH WE HAVE BEEN PAID BY YOU. THIS DRAWING TO BE READ WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

PLANNING ISSUE			JUNE 2022	DRAWN BY	SM/JO
The Lawrence Centre	Wokingham	RG41 2FE	1:75 @ A3	CHECKED BY	GE

SECTIONS - UNITS 7, 8 & 9	P-1586/10	C
---------------------------	-----------	---

This page is intentionally left blank

Application Number	Expiry Date	Parish	Ward
223613	13/04/2023	Wargrave	Remenham, Wargrave and Ruscombe;

Applicant	Wokingham Borough Council
Site Address	The Piggott C of E School, Twyford Road, Wargrave RG10 8DS
Proposal	Full application for the proposed new multi-use hall, erection of a extension to the existing science block and the retrofit/repurposing of existing dining hall into a new admin block, school entrance and drama hall. Landscaping and erection of 3no. netballs court to rear/side. (Commissioned by WBC).
Type	Full
Officer	Stefan Fludger
Reason for determination by committee	Applicant is WBC There will be an increase in the number of staff/pupils. Major application.

FOR CONSIDERATION BY	Planning Committee on Wednesday, 12 April 2023
REPORT PREPARED BY	Assistant Director – Place and Growth
RECOMMENDATION	APPROVAL subject to conditions and informatives.

SUMMARY

The proposal consists of an extension to the existing science block, a new building to house catering and additional sixth formers, new netball courts and parking on the existing tennis court. The existing catering building would be converted to host drama classes.

There is a need to provide for entry of an additional 210 pupils at the school, including 60 new sixth form students. The site is in the Green Belt, however the need to expand schools should be given great weight and this consists of very special circumstances which justify the scheme in principle.

There would be no harm to neighbours, subject to conditions and sufficient parking is provided. Landscaping can be agreed by condition, as well as other details.

RELEVANT PLANNING HISTORY

Application Number	Proposal	Decision	Relevant Conditions
220571	Full application for the proposed erection of a single storey modular classroom unit to provide 4 no. classrooms plus additional offices and WC facilities for a temporary period of five years.	Approved 13/05/2022	None

173325	Application for a certificate of lawfulness for the proposed erection of 1.8m fencing plus erection of gates	Approved 04/01/2018	None
130552	Proposed installation of external catering unit in school playground	Approved 26/06/2013	None
122320	Proposed erection of a two-storey modular building to form maths classrooms, science lab, toilets, changing rooms, offices and fitness suite	Approved 27/03/2013	None
111314	Proposed erection of two-storey Sixth Form Centre with changes to car parking, hardstanding, relocation of cycle shelter and removal of temporary PE building	Approved 21/09/2011	None
102033	Proposed siting of additional cycle compound (adjacent to existing cycle compound)	Approved 02/11/2010	None
020052	Proposed erection of two storey pavilion and multi sports hall for Cricket Academy with new access road and parking for 40 cars	Approved 13/11/2002	None
001955	Proposed single storey extension to school to link two buildings plus internal alterations	Approved 18/10/2000	None
980548	Proposed Installation Of New Pitched Roofs Over Existing Design Block	Approved 02/07/1998	None

DEVELOPMENT INFORMATION	
Existing parking spaces	125
Proposed parking spaces	164
CONSTRAINTS	Green Belt WBC Owned Land. Green route Groundwater protection zone. Potentially contaminated land. Flood zone 2. Bat roost zone. Mineral site consultation zone.

CONSULTATION RESPONSES	
WBC Trees and Landscapes	No objection, subject to conditions.
WBC Drainage	No objection, subject to conditions.
WBC Highways	No objection.
WBC Environmental Health	No objection, subject to conditions.
WBC Ecology	No objection, subject to conditions.
Thames Water	No objection.
Berkshire Archaeology	No objection.
Sport England	No objection, subject to conditions.

REPRESENTATIONS

Town/Parish Council: No objection. Recommend condition requiring construction traffic management and parking arrangements for contractors. Construction work time restrictions to protect neighbouring residents.

Local Members: No comments received.

Neighbours: No comments received.

PLANNING POLICY

National Planning Policy Framework
National Design Guide
National Planning Practice Guidance

Core Strategy (CS)

- CP1 – Sustainable Development
- CP2 – Inclusive Communities
- CP3 – General Principles for Development
- CP4 – Infrastructure Requirements
- CP5 – Housing Mix, Density and Affordability
- CP6 – Managing Travel Demand
- CP7 – Biodiversity
- CP9 – Scale and Location of Development Proposals

CP11 – Proposals Outside Development Limits (Inc Countryside)
CP12 – Green Belt

MDD Local Plan (MDD)

CC01 – Presumption in Favour of Sustainable Development
CC02 – Development Limits
CC03 – Green Infrastructure, Trees and Landscaping
CC04 – Sustainable Design and Construction
CC05 – Renewable Energy and Decentralised Energy Networks
CC06 – Noise
CC07 – Parking
CC08 – Safeguarding alignments of the Strategic Transport Network & Road Infrastructure
CC09 – Development and Flood Risk
CC10 – Sustainable Drainage
TB01 – Development within the Green Belt
TB02 – Development adjoining the Green Belt
TB12 – Employment Skills Plan
TB21 – Landscape Character
TB23 – Biodiversity and Development
TB24 – Designated Heritage Assets

Other

Borough Design Guide Supplementary Planning Document
CIL Guidance + 123 List
Wargrave Parish Design Statement

PLANNING ISSUES

Description of Development:

The development consists of a new dining hall with ancillary spaces, extension to the science block, re-arrangement of the existing dining space and the provision of new netball courts. Additional parking is provided on existing tennis courts.

The proposed development would allow for the school to expand from a 7FE to an 8FE, with an increase of 210 pupils, inclusive of 60 additional sixth form places (30 year 12 pupils and 30 year 13 pupils). It is considered that the proposals would also result in 17 additional full-time members of staff and 17 additional part time members of staff.

It should be noted that this application has been amended to incorporate changes to the layout of the site to address concerns from Sport England (see later in this report). This has resulted in the need to slightly alter the red line (site) plan. As there is no change in terms of land ownership and no direct neighbours would be affected by the changes, re-consultation was not necessary.

Principle of Development:

The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan Policy CC01 states that planning applications

that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.

The application site is within the Green Belt. The Government attaches great importance to Green Belts. Paragraph 147 of the National Planning Policy Framework (NPPF) indicates that inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances. Paragraph 149 of the NPPF indicates limited exceptions to inappropriate development. The fundamental aim of Green Belt Policy is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and their permanence. This approach is reflected in the NPPF as well as Core Strategy Policy CP12 and adopted Managing Development Delivery Local Plan Policy TB01. The NPPF says the following with regard to Green Belts:

148. When considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt. 'Very special circumstances' will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations.

149. A local planning authority should regard the construction of new buildings as inappropriate in the Green Belt. Exceptions to this are...

b) the provision of appropriate facilities (in connection with the existing use of land or a change of use) for outdoor sport, outdoor recreation, cemeteries and burial grounds and allotments; as long as the facilities preserve the openness of the Green Belt and do not conflict with the purposes of including land within it;

c) the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building;

d) the replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces;

Paragraph 149 does not provide for new school buildings, save for the extension or replacement of buildings as outlined above. However, paragraph 95 states:

95. It is important that a sufficient choice of school places is available to meet the needs of existing and new communities. Local planning authorities should take a proactive, positive and collaborative approach to meeting this requirement, and to development that will widen choice in education. They should:

a) give great weight to the need to create, expand or alter schools through the preparation of plans and decisions on applications; and

b) work with school promoters, delivery partners and statutory bodies to identify and resolve key planning issues before applications are submitted.

The proposal consists of a number of different elements. These are discussed below:

New dining building and conversion of existing dining building:

A new building would be constructed on the western edge of the site to accommodate new dining facilities and sixth form area. Small changes to the exterior of the existing dining building would be made, with most changes being internal, enabling this building to be used for Drama instead.

The new dining building would be on a currently undeveloped part of the site. Being a new building, it does not benefit from any of the exceptions outlined in the NPPF, regarding new buildings in the Green Belt. This means that 'very special circumstances must exist to make this application acceptable.

The details submitted with this application indicate that there has been an increase in pupil numbers in recent years. Timetabling has become challenging and some facilities within the school do not meet current requirements. The additional space would provide for the requirements of 1 full form entry intake. Given that paragraph 95 of the NPPF requires great weight to be given to the need to expand schools, it is considered that sufficient educational need identified constitutes a very special circumstance which outweighs any harm by virtue of inappropriateness. In terms of the impact of this building on the openness of the Green Belt, while it is relatively tall, it is situated close to the existing cluster of school buildings on the site and backs onto the railway. It will be viewed against the backdrop of the existing school campus and does not significantly spread development across the site. Its impact on openness would therefore be minimal.

The changes to the existing dining hall would be minimal and would not constitute inappropriate development.

Extension to Existing Building:

An existing building would be extended to provide 3 new science labs, a prep room and chemical store, staff offices, toilets and a level access between science prep and labs. This extension would be modest in size and scale and would not appear disproportionate when viewed against the existing building or the other buildings on site. It would remain single storey and it is not considered that it would result in a disproportionate addition to the original buildings. It is therefore not inappropriate development and would not significantly impact the openness of the Green Belt.

Parking on existing temporary courts and provision of new netball courts:

To the west of the site are existing sports courts. This application notes that this area would be used for parking (for both staff and sixth formers). 4 new netball courts would be constructed on existing sports fields.

It is not clear whether these facilities would fall within exception b), as they are not a 'building', nor specifically to facilitate outdoor sport and recreation as they are associated with a school. Additionally, they are partly required to facilitate parking on the existing courts. It is therefore not clear whether they are not inappropriate development. However, given the great weight to be given to the need to expand or alter schools, it is considered that very special circumstances would in any case exist to justify their construction. Given the fact that they consist of hardstanding, it is not considered that they would significantly harm the openness of the Green Belt.

For the above reasons, the proposals would be acceptable in principle.

Sports Pitches:

Paragraph 99 of the NPPF indicates that playing fields should not be built on unless

- a) An assessment has been undertaken which has clearly shown the open space, buildings or land to be surplus to requirements; or
- b) The loss resulting from the proposed development would be replaced by equivalent or better provision in terms of quantity and quality in a suitable location; or
- c) The development is for alternative sports and recreational provision, the benefits of which clearly outweigh the loss of the current or former use.

This application has been amended in response to comments from Sport England, who had concerns relating to the new courts, which would be built on the existing sports pitches. The number of new courts has been reduced from 5 to 4 and the existing pitches have been adjusted to provide an artificial cricket pitch. Sport England have therefore withdrawn their objection to the scheme, provided that a community use agreement is entered into. The Planning Practice Guidance indicates that in exceptional circumstances a condition can be used to require an applicant to enter into a planning obligation or agreement under other powers. In this case, there are two exceptional circumstances which warrant the use of such a condition. The first is that there is a significant community benefit in the provision of new school places as soon as possible. The second is that the Council is in control of the scheme and will therefore be able to ensure that the community use agreement is completed in a timely manner. The proposal is therefore acceptable in this regard, subject to the condition.

Character of the Area:

Policy CP1 of the Core Strategy states that planning permission will be granted for development proposals that 'maintain or enhance the high quality of the environment'. Policy CP3 of the Core Strategy states planning permission will be granted if development is 'of an appropriate scale of activity, mass, layout, built form, height, materials and character to the area together with a high quality of design without detriment to the amenities of adjoining land users including open spaces or occupiers and their quality of life'.

The new building would be large and contemporary in appearance, as would the extension to the science block. The Borough Design Guide indicates that non-residential development will be heavily influenced by the type of business the development is designed to accommodate. As a school, buildings are large and institutional, reflective of their educational purpose. The proposed building and extension would be clearly reflective of their use, with their proposed form and materials deemed appropriate. It is not considered that the proposed building and extension are inappropriate in this location and therefore are acceptable and in accordance with CP3 or the Core Strategy.

The proposed netball courts, while substantial, would not harm the character of the school. It is not clear whether there would be the need for fencing around the courts (as is commonplace), however such details can be secured by condition if it is later required. The changes to the existing servery are minor and would not harm the character of the area.

Trees and Landscapes:

CC03 of the MDD Local Plan relates to protection of existing green infrastructure. The application has been accompanied by a tree survey and landscape drawings. The majority of existing trees will be retained. There is no objection to the removal of a minimal number of small trees to facilitate the development, subject to conditions requiring submission of detailed landscaping and tree protection measures.

Neighbour Amenity:

The proposed development would be sufficiently distanced from nearby residential properties so as to not result in harmful loss of light, overbearing or overlooking impacts.

With regards noise, the Council's Environmental Health Officer has been consulted on this application. The nearest noise sensitive receptors are a number of static caravans to the west of the site, on the other side of the railway. There will be plant attached to the outside of the new school block and this has the potential to make noise. The applicant has submitted acoustic design report by dBx acoustics 25/10/2022. The report primarily focused on the impact of the future occupants of the school, an assessment of the impact on nearby sensitive noise receptors was not carried out. Therefore, conditions can be used to restrict the level of noise emanating from any plant.

The site is in an area effected by radon. The Environmental Health Officer has indicated that basic protection measures are likely to be required. This can be ensured by condition, as well as further details regarding potential contaminated land.

The new courts are likely to require lighting. While this is unlikely to be significantly harmful due to the distance to the nearby static caravans and the intervening railway line there will be some potential light spill. It is considered that this can be managed by condition.

Ecology:

The development falls within the red impact risk zone for Great Crested Newts (GCN). There are 4 ponds within 500m of the development proposal, the nearest one being 15m to the south-east. There is direct connectivity between the development and the surrounding features in the landscape.

The applicant has provided a report which identifies that the site is of low suitability for GCN. The Council's Ecologist agrees with this conclusion. However, there is a pond near the site which is not mentioned in the report. Due to the presence of the pond, the Council's Ecologist has recommended an informative if the application is approved. Conditions are recommended to ensure that the site does not become suitable habitat and that the recommendations of the report are carried out.

The applicant's Ecologist has made recommendations for species specific enhancements to be provided within the development. These recommendations are carried forward and shown indicatively in the Landscape GA plans. These specify the precise detail of type and location to be confirmed at a later date and therefore a condition is required to secure the precise details and implementation.

Archaeology:

The site lies in an area of archaeological potential. TB25 of the MDD Local Plan requires that where development is likely to affect an area of high archaeological potential or an area which is likely to contain archaeological remains, the presumption is that appropriate measures shall be taken to protect remains by preservation in situ. Where this is not practical, applicants shall provide for excavation, recording and archiving of the remains.

The proposed works may have significant below ground impacts on previously undisturbed deposits which hold archaeological potential.

Berkshire Archaeology have recommended a condition requiring submission and approval of a programme of archaeological work prior to commencement of development. It is considered that this is reasonable and necessary and is acceptable.

Flood Risk and Drainage:

Policy CC10 of the MDD Local Plan indicates that all development proposals must ensure surface water arising from the proposed development including taking into account climate change is managed in a sustainable manner. This must be demonstrated through a flood risk assessment or a surface water drainage strategy. Proposals must incorporate SuDS drainage features and not cause adverse impacts on the local sewer network. CC09 refers to development and flood risk.

All of the development is in Flood Zone 1, apart from the new courts, which are in Flood Zone 2. All drainage would be dealt with via soakaway, and this is supported by the applicant's Flood Risk Assessment, to which the Council's Flood Risk and Drainage Officer has no objection. The new courts would be made of permeable paving and therefore water would be able to move freely through them. Due to the fact that they are a flat surface and in Flood Zone 2, they would be unlikely to have any significant impact on the movement of floodwater or flood plain storage.

In terms of vulnerability from flooding, the new buildings are in Flood Zone 1 and are therefore at low risk. The type of use associated with the new courts means that any risk to users from flood water would be easily avoided and therefore would be low.

The proposal is acceptable in this regard.

Highways and Parking Impacts:

CP6 of the Core Strategy relates to highways and parking impacts. CC07 relates to parking standards.

There would be no change to existing access arrangements or the flow of traffic within the site.

A total of 125 parking spaces are currently provided for the school and 10 parking spaces will be displaced as a result of changes to landscaping. However, an additional 49 spaces are provided on the existing tennis courts. 5 spaces would provide for electric vehicle charging and 4 spaces would be made into disabled bays. 74 additional cycle parking spaces would be provided.

The proposal is acceptable in this regard.

Conclusion:

The proposed new buildings and extension are acceptable in principle, there being very special circumstances which justify the development in the Green Belt. The proposals have appropriate visual character in the context of the surrounding built form, and they include acceptable provision for parking. New courts would be built on existing pitches, however this is mitigated by conditions recommended by Sport England. Based on these reasons it is recommended that the application is approved subject to conditions included in this report.

The Public Sector Equality Duty (Equality Act 2010)

In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

APPENDIX 1 - Conditions/informatives.

APPROVAL subject to the following conditions and informatives:

1. Timescale - The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. Approved details - This permission is in respect of the submitted application plans and drawings listed below:

Draft School Travel Plan ref SM/AH/MM/17362 dated December 2022.

SuDS Statement ref 2220078 dated 16/11/2022

8294_Site_3D_R0 – Sheets 1 and 2.

8294_Underground_R0

2220078-EWP-ZZ-XX-DR-C-10000 REV P2

2220078-EWP-ZZ-XX-DR-C-10001 REV P2

2220078-EWP-ZZ-XX-DR-C-10002 REV P2

PGT-HLM-ZZ-00-DR-A-00100 REV P04

PGT-HLM-ZZ-00-DR-A-00101 REV P04

PGT-HLM-P1-RF-DR-A-00131 REV P04

PGT-HLM-P2-RF-DR-A-00132 REV P04

PGT-HLM-P4-RF-DR-A-00134 REV P04

PGT-HLM-P1-00-DR-A-00151 REV P04

PGT-HLM-P2-00-DR-A-00152 REV P04

PGT-HLM-P4-00-DRF-A-00154 REV P04

PGT-HLM-P1-00-DR-A-00171 REV P04

PGT-HLM-P2-00-DR-A-00172 REV P04

PGT-HLM-P4-00-DR-A-00174 REV P04

PGT-HLM-P1-XX-DR-A-00201 REV P04

PGT-HLM-P2-XX-DR-A-00202 REV P04

PGT-HLM-P4-XX-DR-A-00204 REV P04

PGT-HLM-P1-XX-DR-A-00301 REV P04

PGT-HLM-P2-XX-DR-A-00302 REV P04

PGT-HLM-P2-XX-DR-A-00303 REV P04

PGT-HLM-P4_XX-DR-A-00304 REV P04

PGT-HLM-ZZ-00-DR-A-15101 REV P02

PGT-HLM-ZZ-00-DR-L-15003 REV P03 **(not including the 5 courts should on this plan, which are not approved)**

received by the local planning authority on 01/12/2022 and additional plan numbered:

PGT-HLM-ZZ-00-DR-L-15007 REV P01

Received by the Local Planning Authority on 14/02/2023 and additional plan numbered:

PGT-HLM-ZZ-00-DR-L-15009 REV P01

Received on 08/03/2023 and revised plans numbered:

PGT-HLM-ZZ-00-DR-A-00001 REV P02
PGT-HLM-ZZ-00-DR-A-00002 REV P02
PGT-HLM-ZZ-00-DR-A-00003 REV P07

Received by the local planning authority on 27/03/2023

The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. Radon - No development shall take place until a scheme to deal with radon has been submitted to and approved in writing by the local planning authority. The scheme shall include an assessment to identify the risk from radon and any mitigation measures to be taken to avoid risk when the site is developed. Occupation of the development hereby permitted shall not commence until the measures approved in the scheme have been implemented.

Reason: To protect future users of the site from the harmful effects of radon.

4. CMS - No development shall take place, including any works of demolition, until a Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:
 - i) the parking of vehicles of site operatives and visitors,
 - ii) loading and unloading of plant and materials (including times),
 - iii) storage of plant and materials used in constructing the development,
 - iv) the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, (where appropriate).
 - v) wheel washing facilities,
 - vi) measures to control the emission of dust and dirt during construction,
 - vii) method of recycling/disposing of waste resulting from demolition and construction works.

*Reason: In the interests of highway safety & convenience and neighbour amenities.
Relevant policy: Core Strategy policies CP3 & CP6.*

5. Archaeology - No development shall take place until the applicant or their agents or successors in title have secured the implementation of a programme of archaeological work (which may comprise of more than one phase of works) in accordance with a written scheme of investigation, which has been submitted by the applicant and approved by the local planning authority. The development shall only take place in accordance with the detailed scheme approved.

Reason: The site lies within an area of archaeological potential. The condition will ensure that any archaeological remains within the site are adequately investigated and recorded in order to advance our understanding of the significance of any buried remains to be lost and in the interest of protecting the archaeological heritage of the Borough.

6. – Protection of Trees

- a) No development or other operation shall commence on site until an Arboricultural Method Statement and Scheme of Works which provides for the retention and protection of trees, shrubs and hedges growing on or adjacent to the site in accordance with BS5837: 2012 has been submitted to and approved in writing by the local planning authority. No development or other operations shall take place except in complete accordance with the details as so-approved (hereinafter referred to as the Approved Scheme).
- b) No operations shall commence on site in connection with development hereby approved (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) until the tree protection works required by the Approved Scheme are in place on site.
- c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.
- d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval in writing of the local planning authority has first been sought and obtained.

Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence
Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

7. Landscaping - Prior to the commencement of the development, full details of both hard and soft landscape proposals shall be submitted to and approved in writing by the local planning authority. These details shall include, as appropriate, proposed finished floor levels or contours, means of enclosure, car parking layouts, other vehicle and pedestrian access and circulation areas, hard surfacing materials (including for the new netball courts) and minor artefacts and structure (e.g. furniture, play equipment, refuse or other storage units, signs, lighting, external services and any fencing required surrounding the netball courts etc). Soft landscaping details shall include planting plan, specification (including cultivation and other operations associated with plant and grass establishment), schedules of plants, noting species, planting sizes and proposed numbers/densities where appropriate, and implementation timetable.

All hard and soft landscape works shall be carried out in accordance with the approved details prior to the occupation of any part of the development or in

accordance with a timetable approved in writing by the local planning authority. Any trees or plants which, within a period of five years after planting, are removed, die or become seriously damaged or defective, shall be replaced in the next planting season with others of species, size and number as originally approved and permanently retained.

Reason: In the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21 (and TB06 for garden development)

8. External Materials - Before the science block extension or new building are commenced above slab level, samples and details of the materials to be used in the construction of the external surfaces of the building/s shall have first been submitted to and approved in writing by the local planning authority. Development shall not be carried out other than in accordance with the so-approved details.

Reason: To ensure that the external appearance of the buildings is satisfactory. Relevant policy: Core Strategy policies CP1 and CP3

9. Parking - No part of any building(s) hereby permitted shall be occupied or used until the vehicle parking and turning space has been provided in accordance with the approved plans. The vehicle parking and turning space shall be retained and maintained in accordance with the approved details and the parking space shall remain available for the parking of vehicles at all times and the turning space shall not be used for any other purpose other than vehicle turning.

Reason: To provide adequate off-street vehicle parking and turning space and to allow vehicles to enter and leave the site in a forward gear in the interests of road safety and convenience and providing a functional, accessible and safe development and in the interests of amenity. Relevant policy: Core Strategy policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

10. Cycle storage - Prior to the first use of any part of the development permitted, details of secure and covered bicycle storage/ parking facilities for the occupants of **[and visitors to]** the development shall be submitted to and approved in writing by the local planning authority. The cycle storage/ parking shall be implemented in accordance with such details as may be approved before occupation of the development hereby permitted, and shall be permanently retained in the approved form for the parking of bicycles and used for no other purpose.

Reason: In order to ensure that secure weather-proof bicycle parking facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: NPPF Section 9 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

11. Travel Plan - No part of the development shall be occupied until the approved travel plan has been implemented. The travel plan shall be implemented, maintained and reviewed as approved.

Reason: To encourage the use of all travel modes. Relevant policy: NPPF Section 9 (Sustainable Transport) and Core Strategy policy CP6.

12. Biodiversity - Prior to the first use of each part of the development, detailed plans for biodiversity enhancements in line with the recommendations given in the submitted Preliminary Ecological Appraisal and Preliminary Roost Assessment report (Arbtech, October 2022) and indicatively shown on the Landscape GA plans (Drawing Nos. PGT-HLM-ZZ-00-DR-L-15001 to 15003 – **not including the 5 courts shown on these plans, which are not approved**) for that part of the development shall be provided to the local authority for its approval. The approved plans shall thereafter be implemented in full, prior to the first use of that part of the development.

Reason: to ensure that the proposal is in accordance with Section 41 NERC Act re. UK Biodiversity Action Plan Priority Species (Species of Principal Importance), and complies with Planning Policies for Wildlife including CP7 of the Wokingham Borough Core Strategy (2010), and the National Planning Policy Framework which requires consideration of the potential biodiversity gains that can be secured within developments.

13. Drainage - No building hereby permitted shall be occupied until the sustainable drainage scheme for the site has been completed in accordance with the submitted details. The sustainable drainage scheme shall be managed and maintained thereafter in accordance with the agreed management and maintenance plan.

Reason: To prevent increased flood risk from surface water run-off. Relevant policy: NPPF Section 14 (Meeting the Challenge of Climate Change, Flooding and Coastal Change), Core Strategy policy CP1 and Managing Development Delivery Local Plan policies CC09 and CC10 .

14. Hours of work - No work relating to the development hereby approved, including works of demolition or preparation prior to building operations, shall take place other than between the hours of 08:00 and 18:00 Monday to Friday and 08:00 to 13:00 Saturdays and at no time on Sundays or Bank or National Holidays.

Reason: To protect the occupiers of neighbouring properties from noise and disturbance outside the permitted hours during the construction period. Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

15. Unexpected contamination -
Condition *a

If contamination is found at any time during site clearance, groundwork and construction the discovery shall be reported as soon as possible to the local planning authority. A full contamination risk assessment shall be carried out and if found to be necessary, a 'remediation method statement' shall be submitted to the local planning authority for written approval. Should no evidence of contamination be found during the development a statement to that effect shall be submitted to the local planning authority.

Condition *b

Works shall be carried out in accordance with the approved 'remediation method statement' (submitted to comply with condition *a) and a final validation report shall be submitted to the local planning authority before the site (or relevant phase of the development site) is occupied.

Reason: To protect future occupiers and users of the site from the harmful effects of contamination.

16. Lighting - Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), No floodlighting or other forms of external lighting shall be installed unless it is in accordance with details which have previously been submitted to and approved in writing by the Local Planning Authority. Such details shall include location, height, type and direction of light sources and intensity of illumination. Any lighting, which is so installed, shall not thereafter be altered without the prior consent in writing of the Local Planning Authority other than for routine maintenance that does not change its details.

Reason: To protect residential amenity.

17. Plant noise - All plant, machinery and equipment installed or operated in connection with the carrying out of this permission shall be so enclosed and/or attenuated that noise therefrom does not exceed at any time a level of 5dB[A] below the existing background noise level [or 10dB[A] if there is a particular tonal quality] when measured at a point one metre external to the nearest residential or noise sensitive property.

Reason: To protect neighbouring amenity.

18. Newt protection during construction - All grassland within the works areas shall be maintained at a maximum height of 30mm until construction is completed through regular mowing.

Reason: To safeguard biodiversity as set out by the Wildlife and Countryside Act 1981 (as amended), Natural Environment and Rural Communities Act 2006, NPPF Chapter 15 (Paragraphs 174, 179, 185), Circular 06/2005, Policy CP7 of the Wokingham Local Plan.

19. Within 6 months of the work starting on the new multipurpose hall, the details of the design and layout of the Netball courts and the non-turf wicket have been submitted to and approved in writing by the Local Planning Authority [after consultation with Sport England]. The Netball courts and the non-turf wicket shall not be constructed other than in accordance with the approved details.

Reason: To ensure the development is fit for purpose and sustainable and to accord with Development Plan Policy.

20. Within 9 months of work starting on the multipurpose hall a community use agreement prepared in consultation with Sport England shall be submitted to and approved in writing by the Local Planning Authority, and a copy of the completed approved agreement shall be provided to the Local Planning Authority. The agreement shall apply to [describe facilities forming part of the development] and include details of pricing policy, hours of use, access by non-[educational establishment] users [/non-members], management responsibilities and a mechanism for review. The development shall not be used otherwise than in strict compliance with the approved agreement."

Reason: To secure well managed safe community access to the sports facility/facilities, to ensure sufficient benefit to the development of sport and to accord with Development Plan Policy.

Informatives:

1. Bats are a protected species under the Conservation of Habitats and Species Regulations 2017 (as amended). Should any bats or evidence of bats be found prior to or during the development, all works must stop immediately and an ecological consultant contacted for further advice before works can proceed. All contractors working on site should be made aware of the advice and provided with the contact details of a relevant ecological consultant.
2. Great Crested Newts are a protected species under the Conservation of Habitats and Species Regulations 2017 (as amended). This site is partially within a red risk zone according to modelling undertaken to inform a Borough wide licence issued by Natural England. Red zones contain suitable habitat and most important areas for Great Crested Newts. The permission granted does not provide authorisation for development to proceed under the Wokingham Borough Council District Licence for Great Crested Newts. Should any Great Crested Newts or evidence of Great Crested Newts be found prior to or during the development, all works must stop immediately and an ecological consultant contacted for further advice before works can proceed. All contractors working on site should be made aware of the advice and provided with the contact details of a relevant ecological consult.
3. The applicant is reminded that, under the Conservation of Habitats and Species Regulations 2017 (as amended) and the Wildlife and Countryside Act 1981 (as amended), it is an offence to (amongst other things): deliberately capture, disturb, injure or kill great crested newts; damage or destroy a breeding or resting place; deliberately obstruct access to a resting or sheltering place. Planning approval for a development does not provide a defence against prosecution under these acts. Should great crested newts be found at any stages of the development works, then all works should cease, and Natural England should be contacted for advice.

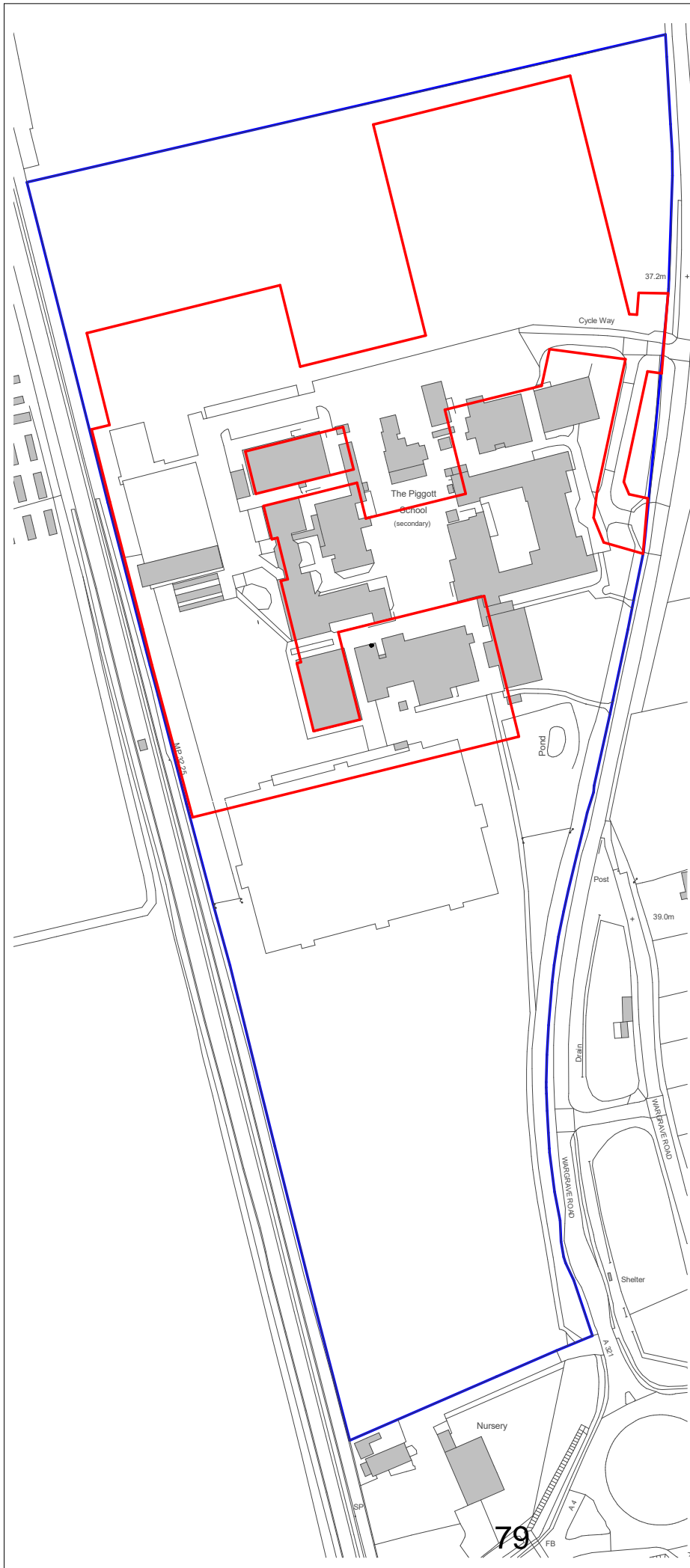
APPENDIX 2 - Parish Council Comments.

PLANNING REF : 223613
PROPERTY ADDRESS : The Old Pavilion
: Recreation Road, Wargrave
: RG10 8BG
SUBMITTED BY : Wargrave Parish Council
DATE SUBMITTED : 11/01/2023

COMMENTS:

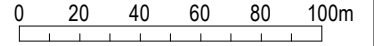
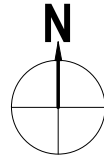
Wargrave Parish Council had NO OBJECTION to this application. Note: appropriate conditions are requested;_ to require consideration of parking provision for contractors during construction, construction traffic management to minimise congestion caused during the works, working times restrictions to minimise the impact upon neighbouring residents.

(Planning Portal not working)



Notes
 Check all dimensions on site. Do not scale from this drawing. Report any discrepancies and omissions to HLM Architects. This Drawing is Copyright ©

— Boundary (School Site)
 — Boundary (Planning Application)



P02	UPDATED PLANNING APPLICATION ISSUE	27.03.2023	WH
P01	PLANNING APPLICATION ISSUE	11.11.2022	AL

Rev	Description	Date	By Suitability

Project

12-1514-02 The Piggott School

Client



WOKINGHAM BOROUGH COUNCIL

Title

LOCATION PLAN

Drawing No.	Revision
PGT-HLM-ZZ-00-DR-A-00001	P02

Scale	Drawn
1 : 2500 @A4	AL

Date	Checked
07/02/2023	KP



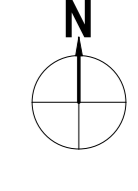
© HLMArchitects
 Wool + Tailor Building
 Fifth Floor
 10-12 Alie Street
 London E1 8DE

www.hlmarchitects.com
 T. +44 (0) 20 7921 4800
 F. +44 (0) 20 7921 4850
 london@hlmarchitects.com

This page is intentionally left blank



— Boundary (School Site)
 — Boundary (Planning Application)



Project	The Piggott School	Title	SITE BLOCK PLAN
Rev	01	Description	S4 STAGE APPROVAL
Rev	02	Description	
Rev	03	Description	
Rev	04	Description	
Rev	05	Description	
Rev	06	Description	
Rev	07	Description	
Rev	08	Description	
Rev	09	Description	
Rev	10	Description	
Rev	11	Description	
Rev	12	Description	
Rev	13	Description	
Rev	14	Description	
Rev	15	Description	
Rev	16	Description	
Rev	17	Description	
Rev	18	Description	
Rev	19	Description	
Rev	20	Description	
Rev	21	Description	
Rev	22	Description	
Rev	23	Description	
Rev	24	Description	
Rev	25	Description	
Rev	26	Description	
Rev	27	Description	
Rev	28	Description	
Rev	29	Description	
Rev	30	Description	
Rev	31	Description	
Rev	32	Description	
Rev	33	Description	
Rev	34	Description	
Rev	35	Description	
Rev	36	Description	
Rev	37	Description	
Rev	38	Description	
Rev	39	Description	
Rev	40	Description	
Rev	41	Description	
Rev	42	Description	
Rev	43	Description	
Rev	44	Description	
Rev	45	Description	
Rev	46	Description	
Rev	47	Description	
Rev	48	Description	
Rev	49	Description	
Rev	50	Description	
Rev	51	Description	
Rev	52	Description	
Rev	53	Description	
Rev	54	Description	
Rev	55	Description	
Rev	56	Description	
Rev	57	Description	
Rev	58	Description	
Rev	59	Description	
Rev	60	Description	
Rev	61	Description	
Rev	62	Description	
Rev	63	Description	
Rev	64	Description	
Rev	65	Description	
Rev	66	Description	
Rev	67	Description	
Rev	68	Description	
Rev	69	Description	
Rev	70	Description	
Rev	71	Description	
Rev	72	Description	
Rev	73	Description	
Rev	74	Description	
Rev	75	Description	
Rev	76	Description	
Rev	77	Description	
Rev	78	Description	
Rev	79	Description	
Rev	80	Description	
Rev	81	Description	
Rev	82	Description	
Rev	83	Description	
Rev	84	Description	
Rev	85	Description	
Rev	86	Description	
Rev	87	Description	
Rev	88	Description	
Rev	89	Description	
Rev	90	Description	
Rev	91	Description	
Rev	92	Description	
Rev	93	Description	
Rev	94	Description	
Rev	95	Description	
Rev	96	Description	
Rev	97	Description	
Rev	98	Description	
Rev	99	Description	
Rev	100	Description	

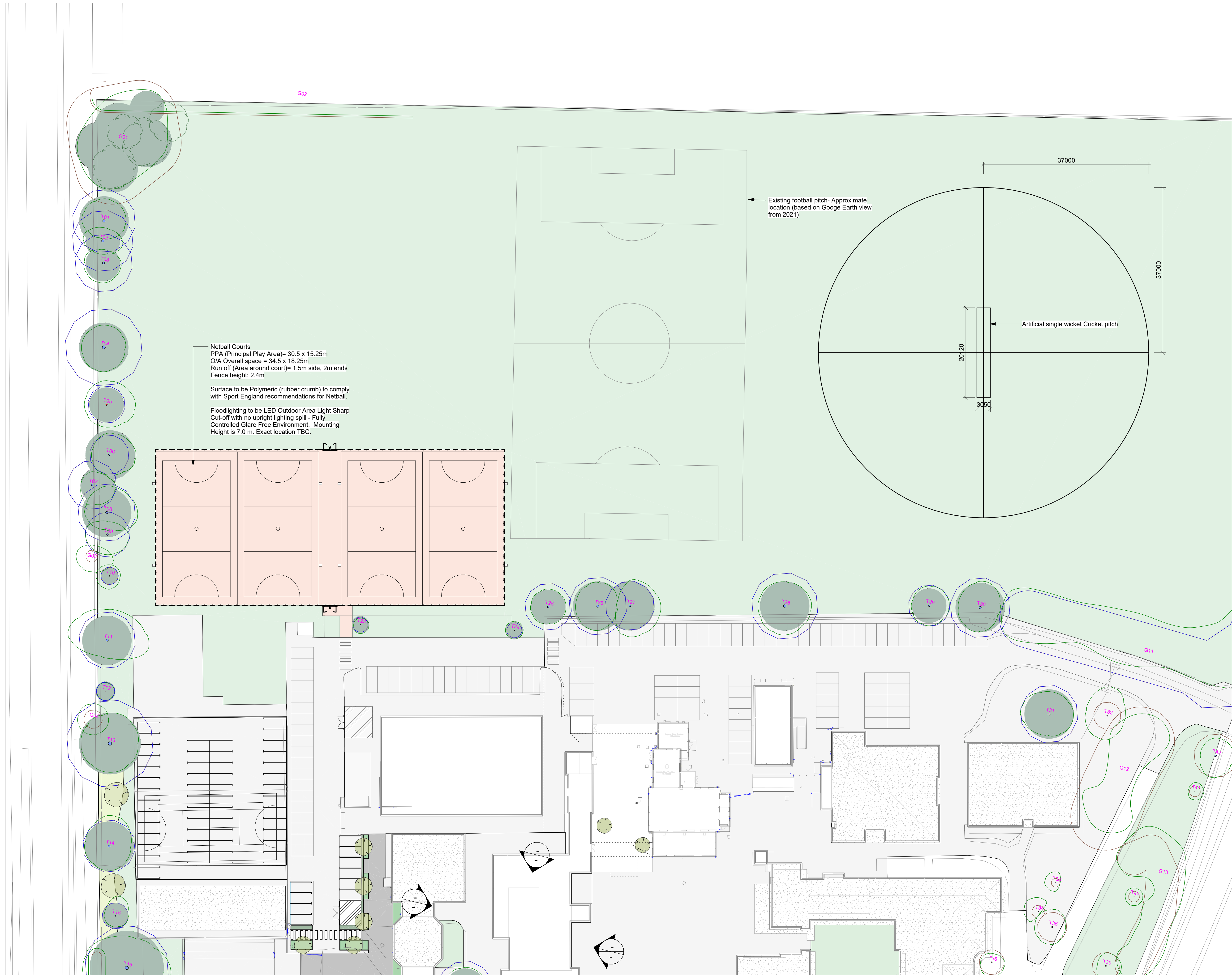
Client	Scale @ A3	Drawn	W31
1:500@A3	Checked	AL	
Date	27/03/2023	Checked	AL

Notes: Check all dimensions on site. Do not scale from this drawing. Report any discrepancies and omissions to HLM Architects. This Drawing is Copyright © HLM Architects.



This page is intentionally left blank

Notes
 Check all dimensions on site. Do not scale from this drawing
 Report any discrepancies and omissions to HLM Architects
 This Drawing is Copyright ©



83

Rev	Description	Date	By	Chk	Suitability
P01	ISSUED FOR PLANNING INFORMATION	08/03/23	NK	HLM	

Project: S3 REVIEW AND COMMENT

Piggott School Landscape

Client
Wokingham Borough Council

NETBALL COURTS & CRICKET PITCH LAYOUT

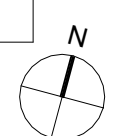
Drawing No.	Revision
PGT-HLM-ZZ-00-DR-L-15009	P01

Scale	Drawn
1 : 400 @A1	NK
Date	Checked
08/03/23	HLM

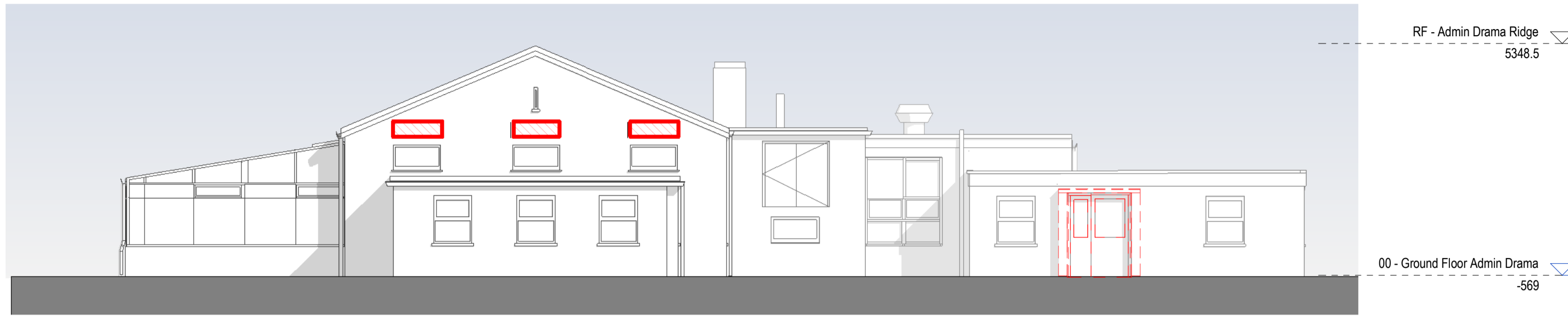


© HLM Architects
 2nd Floor
 The Ruskin Building
 Tudor Square
 Sheffield S1 2LA

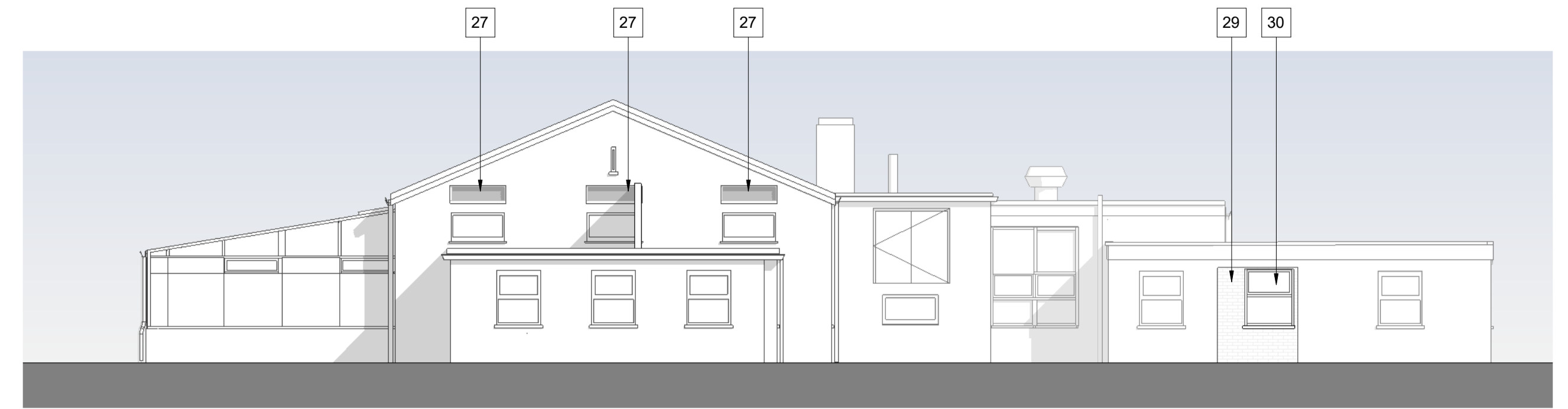
www.hlmarchitects.com
 T. +44 (0) 114 263 9600
 F. +44 (0) 114 263 9650
 sheffield@hlmarchitects.com



This page is intentionally left blank



Elevation Admin East Existing
Scale: 1 : 100



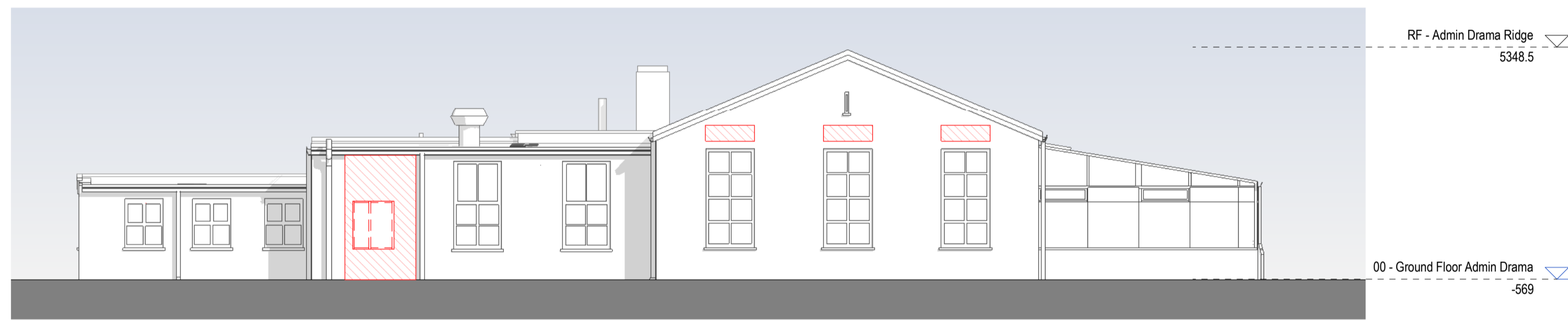
Elevation Admin East Proposed
Scale: 1 : 100



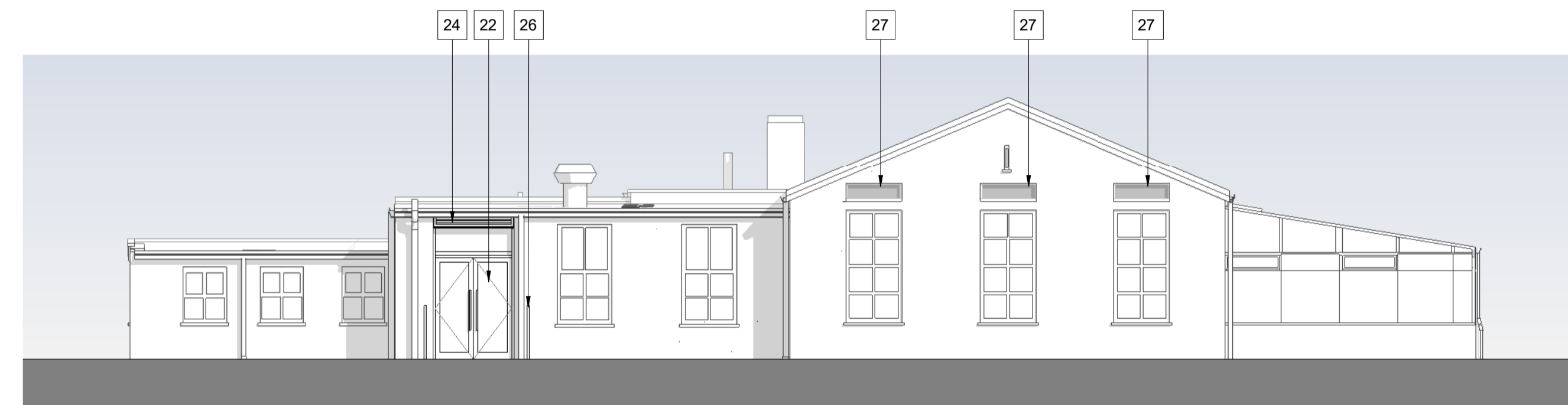
Elevation Admin South Existing
Scale: 1 : 100



Elevation Admin South Proposed
Scale: 1 : 100



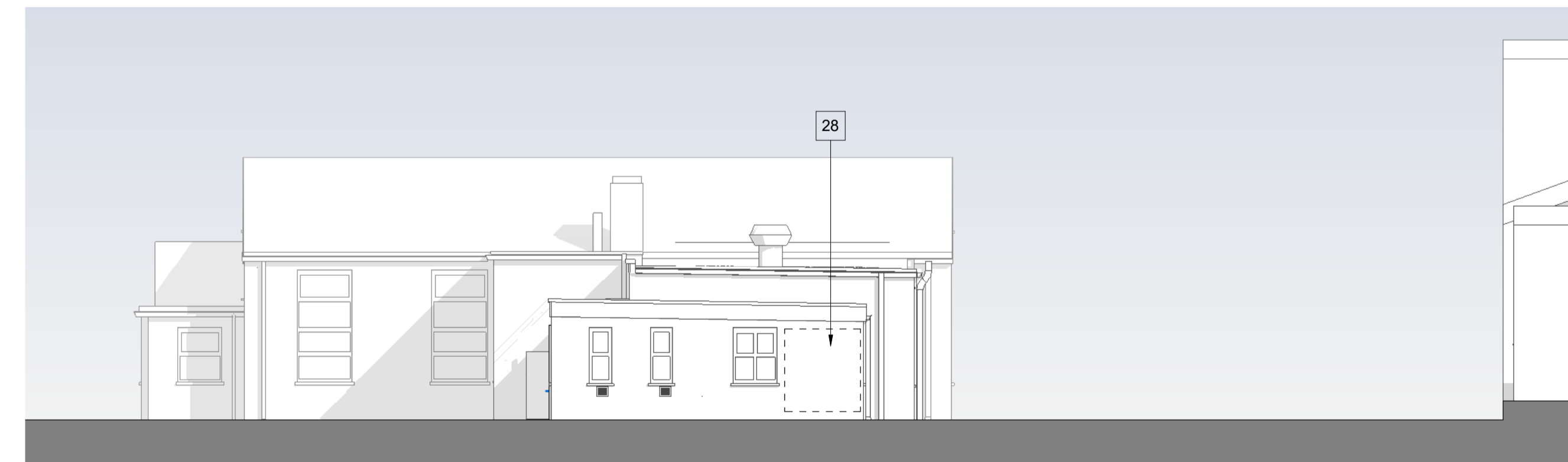
Elevation Admin West Existing
Scale: 1 : 100



Elevation Admin West Proposed
Scale: 1 : 100



Elevation Admin North Existing
Scale: 1 : 100



Elevation Admin North Proposed
Scale: 1 : 100

CONSTRUCTION PHASE HAZARD IDENTIFICATION
In accordance with the Construction (Design & Management) Regulation 2015.

CDM
The hazard sign is a notification to other designers and contractors of foreseeable exceptional risks resulting from the design activities carried out by HLM Architects Ltd, which are beyond those reasonably expected to be identified by a competent person, as defined in the Construction (Design & Management) Regulations 2015 - Regulation 9 & 10 and Industry Guidance for Designers (Section 4) published by the CDM (2015).

DRAWING REVIEWED	YES
EXCEPTIONAL RISKS / RISK CONTROL MEASURES	see warning triangle
CDM or see warning triangle	

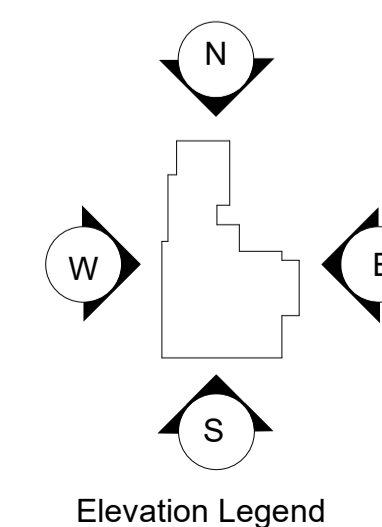
DEMOLITION NOTES:

- Existing elements to be demolished.
- Demolished External Masonry Walls. Refer to elevation & sections also.

MATERIAL KEY: ADMIN EXTERNAL ELEVATIONS

22	Product: Curtain Wall with Doors & Windows Colour: White
24	Product: Louvres Colour: White to match Curtain Wall
26	Product: Door Hoops Colour: Refer to landscape drawings
27	Product: Louvres Colour: Dark grey
28	Product: Signage Zone
29	Product: Brick Colour: Red to match existing Admin brick
30	Product: Doors or Windows Colour: White

NOTE: Products and colours to be equal or equivalent.



Project	The Piggott School	Title	GA ELEVATIONS - (PHASE 4) ADMIN & DRAMA
Client	WOLKINGHAM BOROUGH COUNCIL	Scale	1:100@A1
Drawn	AL	Checked	AL
Date	11.11.2022	By	KP

Notes: Check all dimensions on site. Do not scale from this drawing. Report any discrepancies and omissions to HLM Architects. This Drawing is Copyright ©

Scale: 1:100

0 10 20 30 40 50 M

1:500
1:100

Rev	Description	Date	By	CHK
1	PLANNING APPLICATION ISSUE	11.11.2022	AL	KP
2	STAGE ISSUE	23.10.2022	KW	AL
3	DRAFT ISSUE	23.10.2022	KP	AL
4	DRAFT ISSUE	26.09.2022	KW	AL
5	DRAFT ISSUE			

Revisions: S4 STAGE APPROVAL

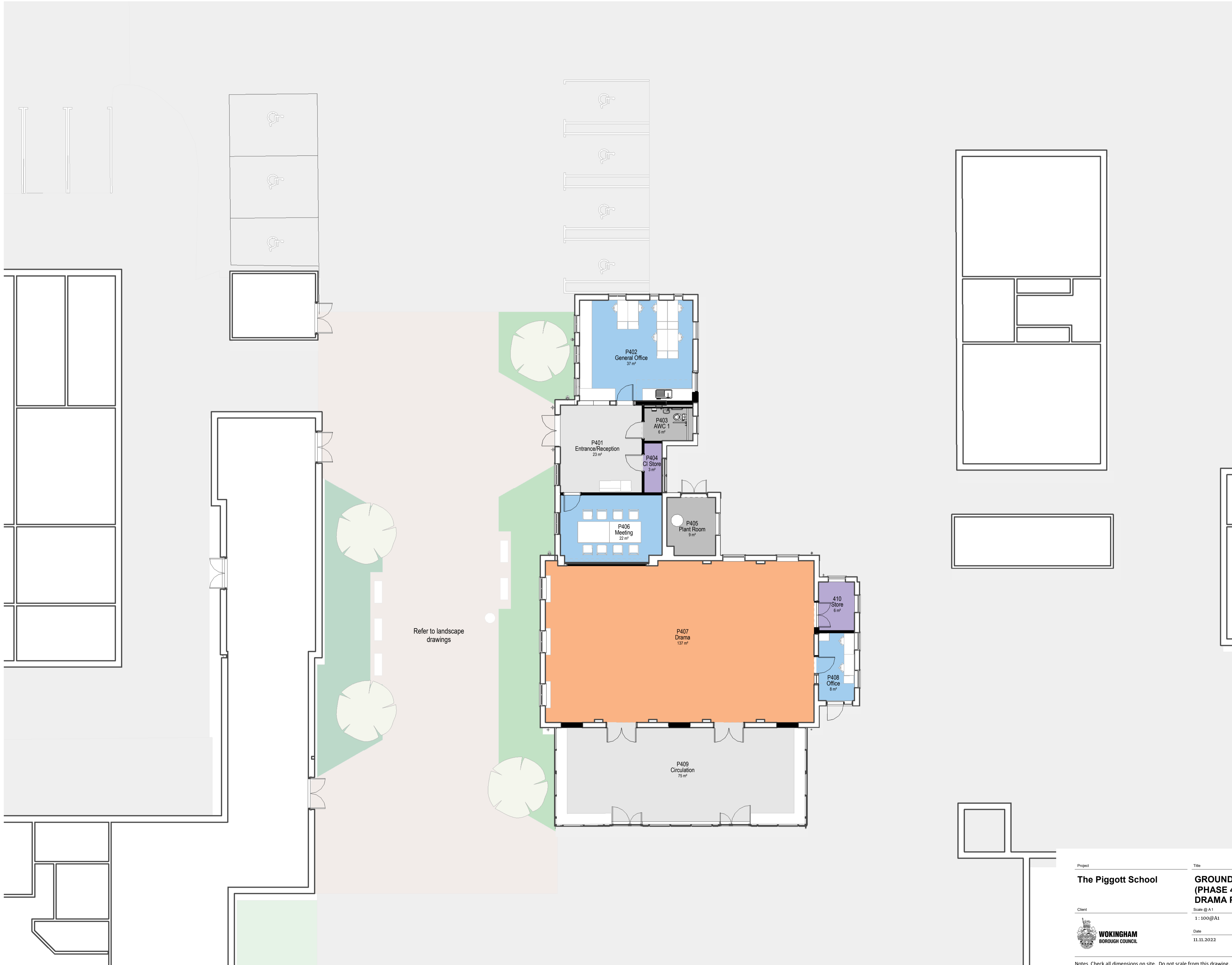
Drawing No: PGT-HLM-P4-XX-DR-A-00304

Revision: P04

HLM Architects
Wool + Tailor Building
Fifth Floor
10-12 Allie Street
London E1 8DE

www.hlmarchitects.com
T: +44 (0) 20 7921 4800
F: +44 (0) 20 7921 4850
london@hlmarchitects.com

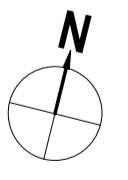
This page is intentionally left blank



CONSTRUCTION PHASE HAZARD IDENTIFICATION
In accordance with the Construction (Design & Management) Regulations 2015.

CDM
The hazard sign is a notification to other designers and contractors of foreseeable exceptional risks resulting from the design activities carried out by HLM Architects Ltd, which are beyond those reasonably expected to be identified by a competent person, as defined in the Construction (Design & Management) Regulations 2015 - Regulation 9 & 10 and Industry Guidance for Designers (Section 4) published by the CIB (2015)

DRAWING REVIEWED	YES
EXCEPTIONAL RISKS / RISK CONTROL MEASURES	see warning triangle none or see warning triangle



Project	The Piggott School		Title	GROUND FLOOR (PHASE 4) ADMIN & DRAMA PROPOSED	
Client	WOKINGHAM BOROUGH COUNCIL		Scale @ A1	1:100@A1	
Drawn	AL		Checked	KP	
Date	11.11.2022		Subtability	S4 STAGE APPROVAL	
Revisions	Drawing No. PGT-HLM-P4-00-DR-A-00154		Revision	P04	

Notes Check all dimensions on site. Do not scale from this drawing. Report any discrepancies and omissions to HLM Architects. This Drawing is Copyright©

1:50 1:500 1:100

5 M 30 M 10 M

© HLM Architects
Wool + Tailor Building
Fifth Floor
10-12 Aisle Street
London E1 8DE

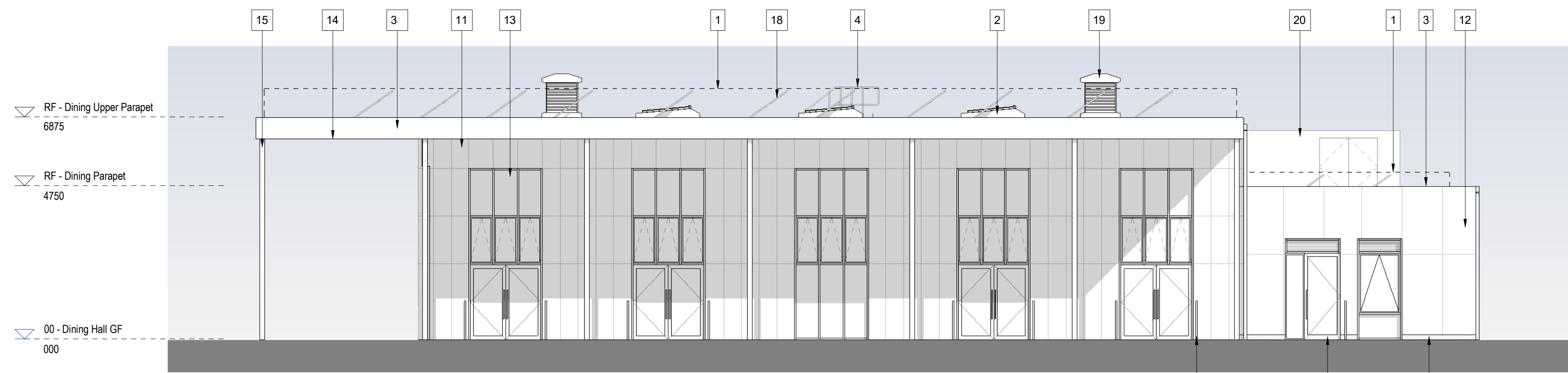
www.HLMarchitects.com
T. +44 (0) 20 7921 4800
F. +44 (0) 20 7921 4850
london@hlmarchitects.com

This page is intentionally left blank

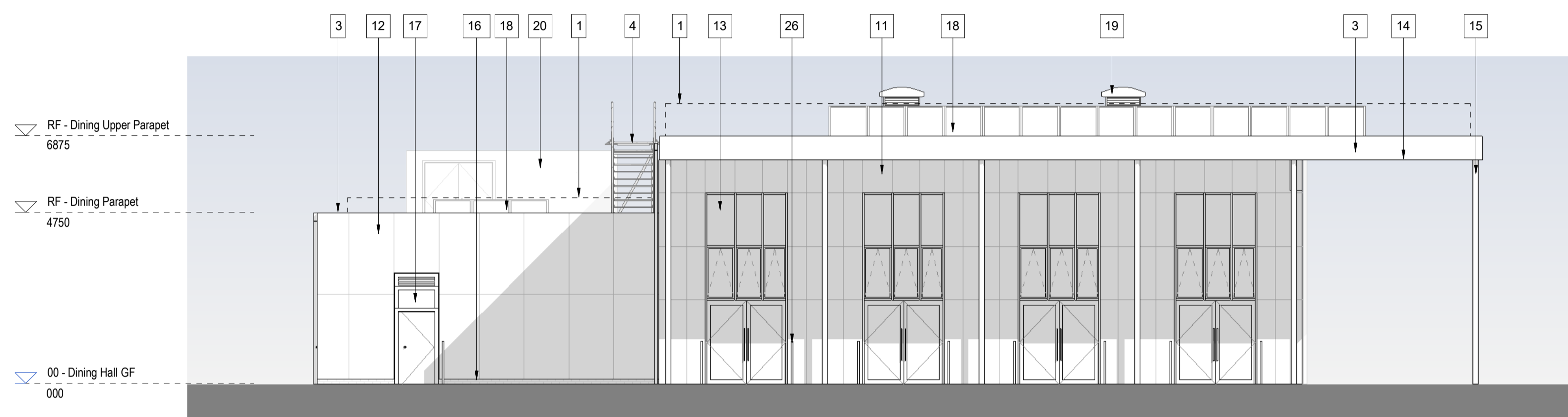
CONSTRUCTION PHASE HAZARD IDENTIFICATION
In accordance with the Construction (Design & Management) Regulations 2015.

CDM
The hazard sign is a notification to other designers and contractors of foreseeable exceptional risks resulting from the design activities carried out by HLM Architects Ltd, which are beyond those reasonably expected to be identified by a competent person, as defined in the Construction (Design & Management) Regulations 2015 - Regulation 9 & 10 and Industry Guidance for Designers (Section 4) published by the CDM (2015).

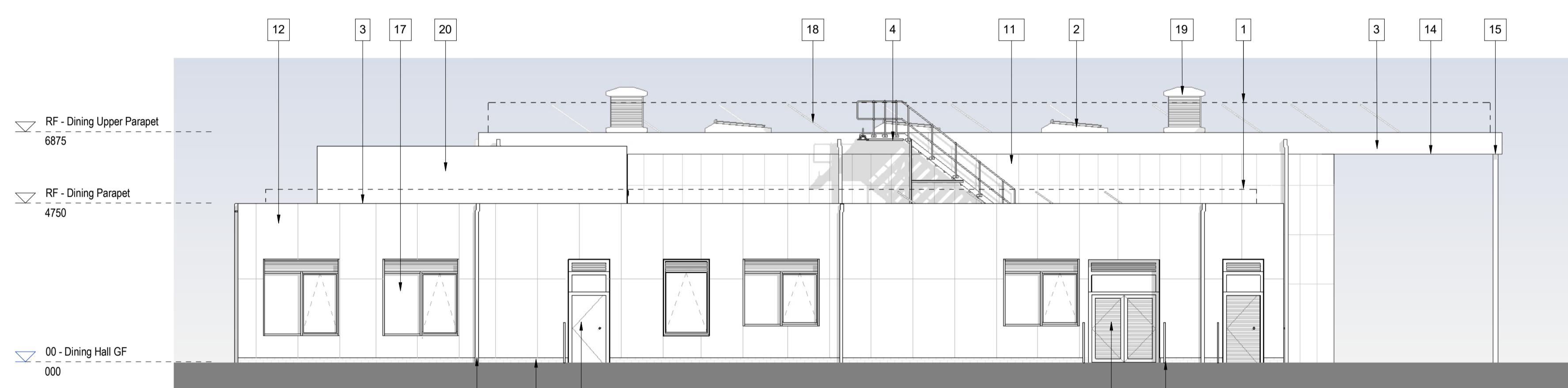
DRAWING REVIEWED	YES
EXCEPTIONAL RISKS / RISK CONTROL MEASURES	see warning triangle icons or see warning triangle



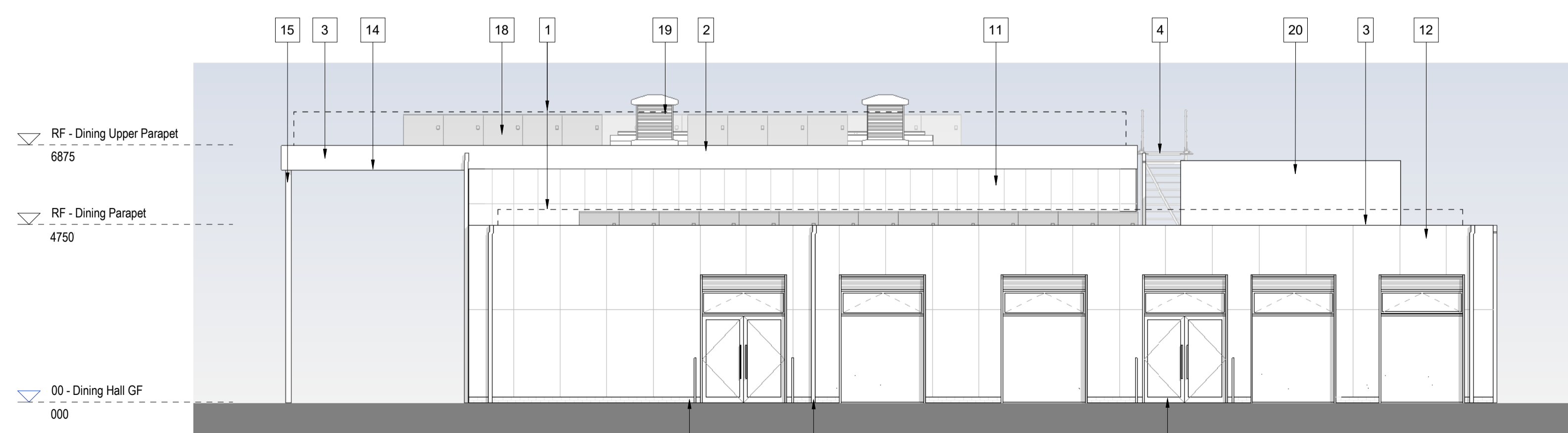
Elevation Dining - East
Scale: 1 : 100



Elevation Dining - South
Scale: 1 : 100



Elevation Dining - West
Scale: 1 : 100

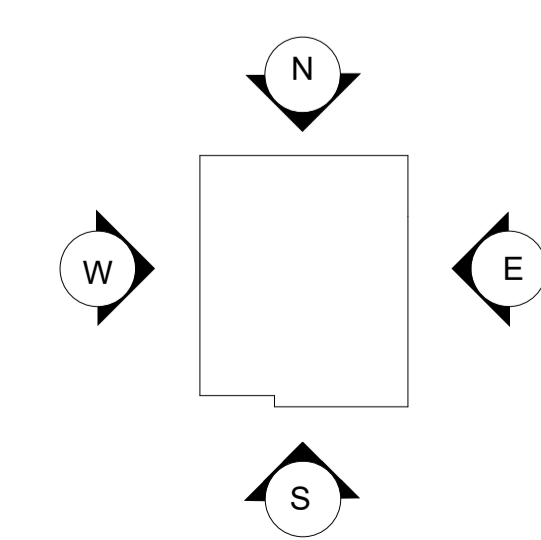


Elevation Dining - North
Scale: 1 : 100

MATERIAL KEY: DINING EXTERNAL ELEVATIONS

1	Product: Collapsible railings - outline shown Colour: Galvanised	15	Product: Column Colour: Dark grey
2	Product: Rooflight	16	Product: Brick Plinth Colour: Dark grey engineering brick
3	Product: Aluminium Capping to parapets/ Aluminium Fascia to Canopy Roof Colour: Dark grey	17	Product: Window and Door with louvers Colour: Dark grey
4	Product: Fixed Roof Access	18	Product: PV Panel
11	Product: Fibre Cement Panel 01 Colour: Equitone Nature - Quartz White	19	Product: Windcatcher
12	Product: Fibre Cement Panel 02 Colour: Equitone Nature - Charcoal	20	Product: Plant Enclosure
13	Product: Curtain Wall Colour: Dark grey	25	Product: Rain water pipe, anti-climb Colour: Dark grey
14	Product: CLT Canopy Soffit	26	Product: Door hoop Colour: Refer to landscape drawings

NOTE: Products and colours to be equal or equivalent.



Elevation Legend

Project	The Piggott School		Title	GA ELEVATIONS - (PHASE 1) DINING	
Client	WOKINGHAM BOROUGH COUNCIL		Scale @ A1	1:100@A1	
Client	WOKINGHAM BOROUGH COUNCIL		Drawn	AL	
Client	WOKINGHAM BOROUGH COUNCIL		Date	11.11.2022	
Client	WOKINGHAM BOROUGH COUNCIL		Checked	KP	

Notes Check all dimensions on site. Do not scale from this drawing. Report any discrepancies and omissions to HLM Architects. This Drawing is Copyright©

1:500 1:100 50 M 10 M

© HLM Architects
Wool + Tailor Building
Fifth Floor
10-12 Allie Street
London E1 8DE

www.hlmarchitects.com
T: +44 (0) 20 7921 4800
F: +44 (0) 20 7921 4850
london@hlmarchitects.com

68

This page is intentionally left blank

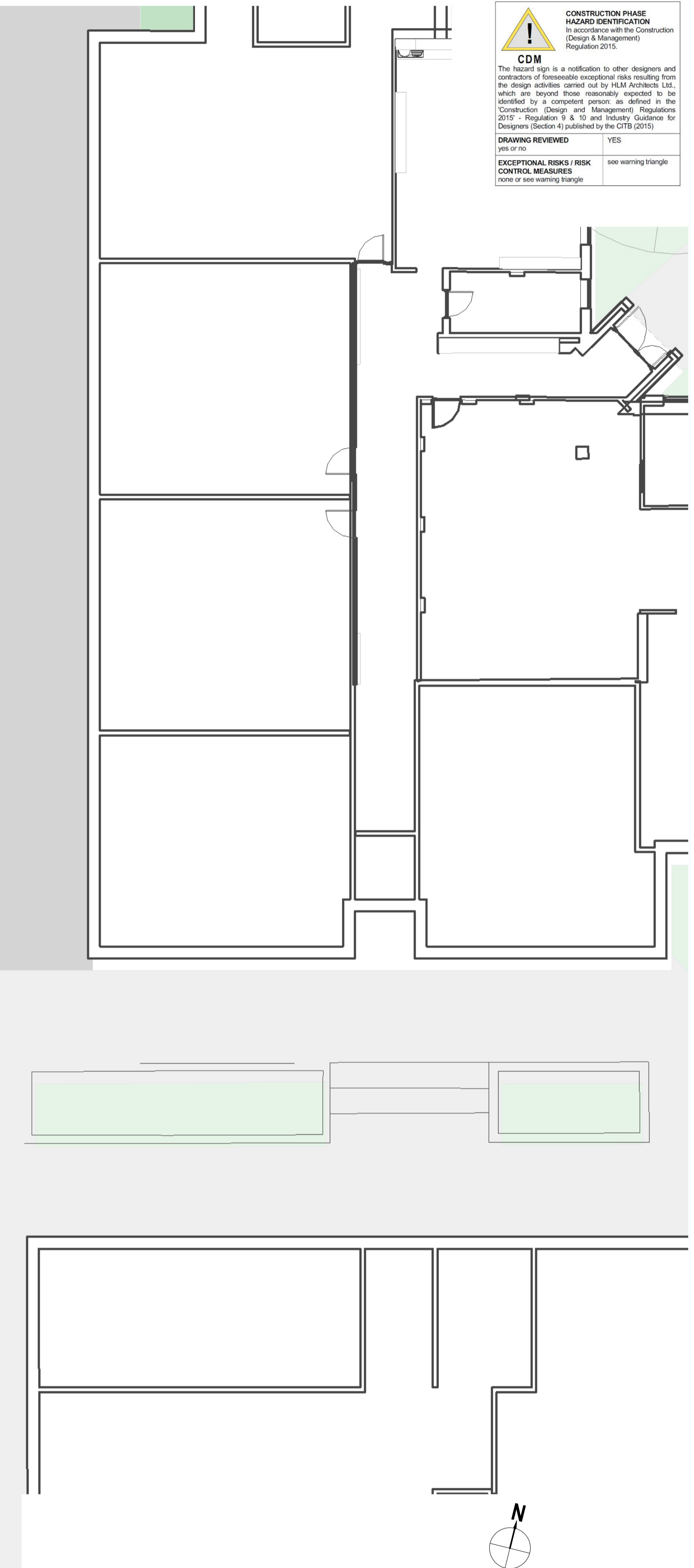
CONSTRUCTION PHASE HAZARD IDENTIFICATION
In accordance with the Construction (Design & Management) Regulations 2015.

CDM
The hazard sign is a notification to other designers and contractors of foreseeable exceptional risks resulting from the design activities carried out by HLM Architects Ltd, which are beyond those reasonably expected to be identified by a competent person, as defined in the Construction (Design & Management) Regulations 2015 - Regulation 9 & 10 and Industry Guidance for Designers (Section 4) published by the CITB (2015)

DRAWING REVIEWED	YES
EXCEPTIONAL RISKS / RISK CONTROL MEASURES	see warning triangle none or see warning triangle



91



Project	The Piggott School	Title	GROUND FLOOR (PHASE 1) DINING PROPOSED	Scale @ A1	1:100@A1	Drawn	AL	Date	11.11.2022	Checked	KP																								
Client	WOKINGHAM BOROUGH COUNCIL	Revisions	<table border="1"> <tr> <th>No.</th> <th>Description</th> <th>Date</th> <th>By</th> <th>CHK</th> </tr> <tr> <td>1</td> <td>PLANNING APPLICATION ISSUE</td> <td>11.11.2022</td> <td>AL</td> <td>KP</td> </tr> <tr> <td>2</td> <td>STAGE 1 ISSUE</td> <td>23.10.2022</td> <td>KW</td> <td>AL</td> </tr> <tr> <td>3</td> <td>DRAFT ISSUE</td> <td>23.10.2022</td> <td>KP</td> <td>AL</td> </tr> <tr> <td>4</td> <td>DRAFT ISSUE</td> <td>23.10.2022</td> <td>AL</td> <td>KP</td> </tr> <tr> <td>5</td> <td>DESCRIPTION</td> <td></td> <td></td> <td></td> </tr> </table>	No.	Description	Date	By	CHK	1	PLANNING APPLICATION ISSUE	11.11.2022	AL	KP	2	STAGE 1 ISSUE	23.10.2022	KW	AL	3	DRAFT ISSUE	23.10.2022	KP	AL	4	DRAFT ISSUE	23.10.2022	AL	KP	5	DESCRIPTION				Submittal	S4 STAGE APPROVAL
No.	Description	Date	By	CHK																															
1	PLANNING APPLICATION ISSUE	11.11.2022	AL	KP																															
2	STAGE 1 ISSUE	23.10.2022	KW	AL																															
3	DRAFT ISSUE	23.10.2022	KP	AL																															
4	DRAFT ISSUE	23.10.2022	AL	KP																															
5	DESCRIPTION																																		
Drawing No.	PGT-HLM-P1-00-DR-A-00151	Revision	P04																																

Notes: Check all dimensions on site. Do not scale from this drawing. Report any discrepancies and omissions to HLM Architects. This Drawing is Copyright ©

© HLM Architects
Wool + Tailor Building
Fifth Floor
10-12 Aisle Street
London E1 8DE

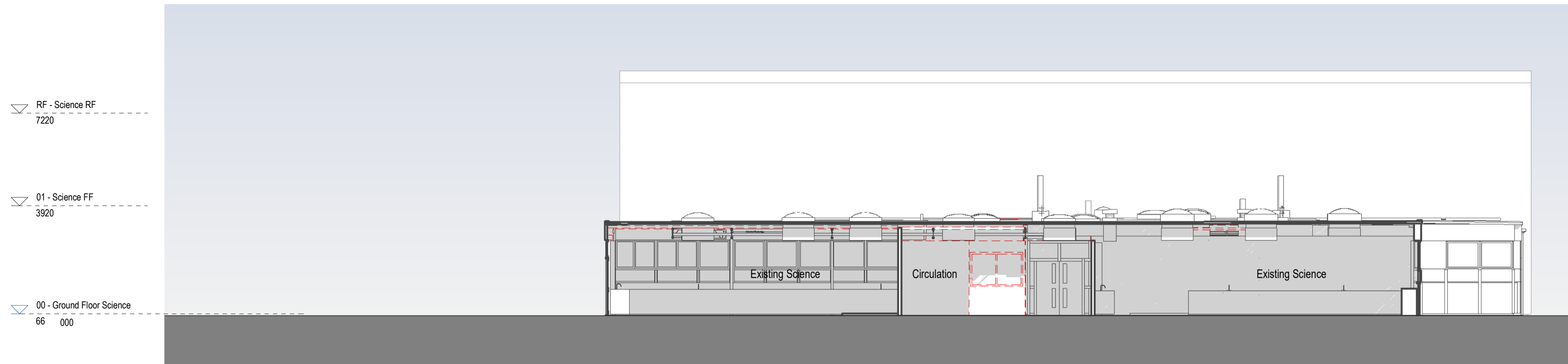
www.hlmarchitects.com
T: +44 (0) 20 7921 4800
F: +44 (0) 20 7921 4850
london@hlmarchitects.com

This page is intentionally left blank

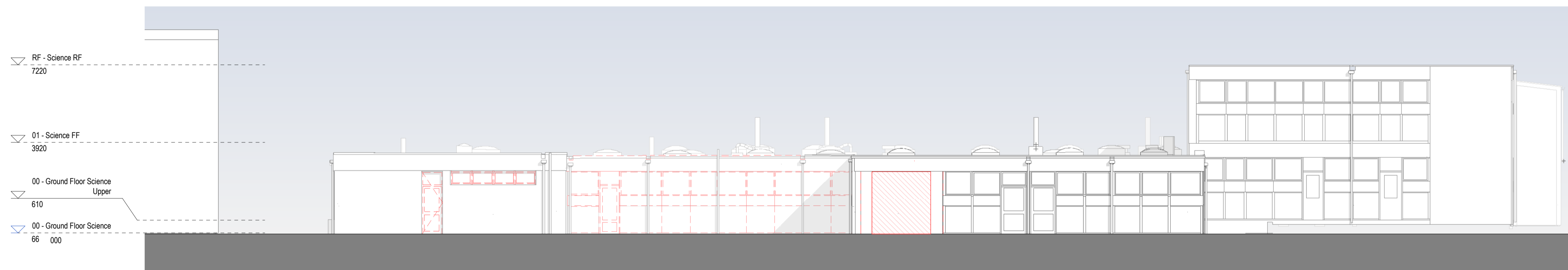
CONSTRUCTION PHASE HAZARD IDENTIFICATION
In accordance with the Construction (Design & Management) Regulations 2015.

CDM
The hazard sign is a notification to other designers and contractors of foreseeable exceptional risks resulting from the design activities carried out by HLM Architects Ltd, which are beyond those reasonably expected to be identified by a competent person, as defined in the Construction (Design & Management) Regulations 2015 - Regulation 9 & 10 and Industry Guidance for Designers (Section 4) published by the CIBG (2015).

DRAWING REVIEWED	YES
EXCEPTIONAL RISKS / RISK CONTROL MEASURES	see warning triangle none or see warning triangle



Elevation Science East Existing
Scale: 1 : 100



Elevation Science South Existing
Scale: 1 : 100



Elevation Science West Existing
Scale: 1 : 100

MATERIAL KEY: SCIENCE EXTERNAL ELEVATIONS

1	Product: Collapsible railings - outline shown Colour: Galvanised
2	Product: Rooflight
3	Product: Aluminium Clipping Colour: Dark grey
4	Product: Fixed Roof Access
21	Product: Brick Colour: Red to match existing Science Brick
22	Product: Curtain Wall with Doors & Windows Colour: White
23	Product: Spandrel Panel Colour: Blue RAL 5005
24	Product: Louvers Colour: White to match
25	Product: Rain water pipe, anti-climb Colour: Dark grey
26	Product: Door hoop Colour: Refer to landscape drawings

NOTE: Products and colours to be equal or equivalent.

DEMOLITION NOTES:

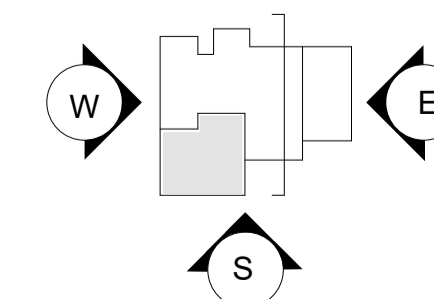
- Existing elements to be demolished.
- Demolished External Masonry Walls

Refer to elevation & sections also.

Pol	PLANNING APPLICATION ISSUE	11.11.2022	AL	KP
Pol	STAGE ISSUE	23.10.2022	KW	AL
Pol	DRAFT ISSUE	21.10.2022	KW	AL
Pol	DRAFT ISSUE	14.10.2022	KW	AL
Rev	Description	Date	By	CHK

Revisions	S4 STAGE APPROVAL	Subtality
Drawing No.	Revision	
PGT-HLM-P2-XX-DR-A-00303		P04

Project	The Piggott School		Title	GA ELEVATIONS - (PHASE 2) SCIENCE EXISTING	
Client	WOKINGHAM BOROUGH COUNCIL		Scale @ A1	1:100@A1	Drawn
			Date	11.11.2022	Checked
					KP



Elevation Legend

Notes Check all dimensions on site. Do not scale from this drawing. Report any discrepancies and omissions to HLM Architects. This Drawing is Copyright©



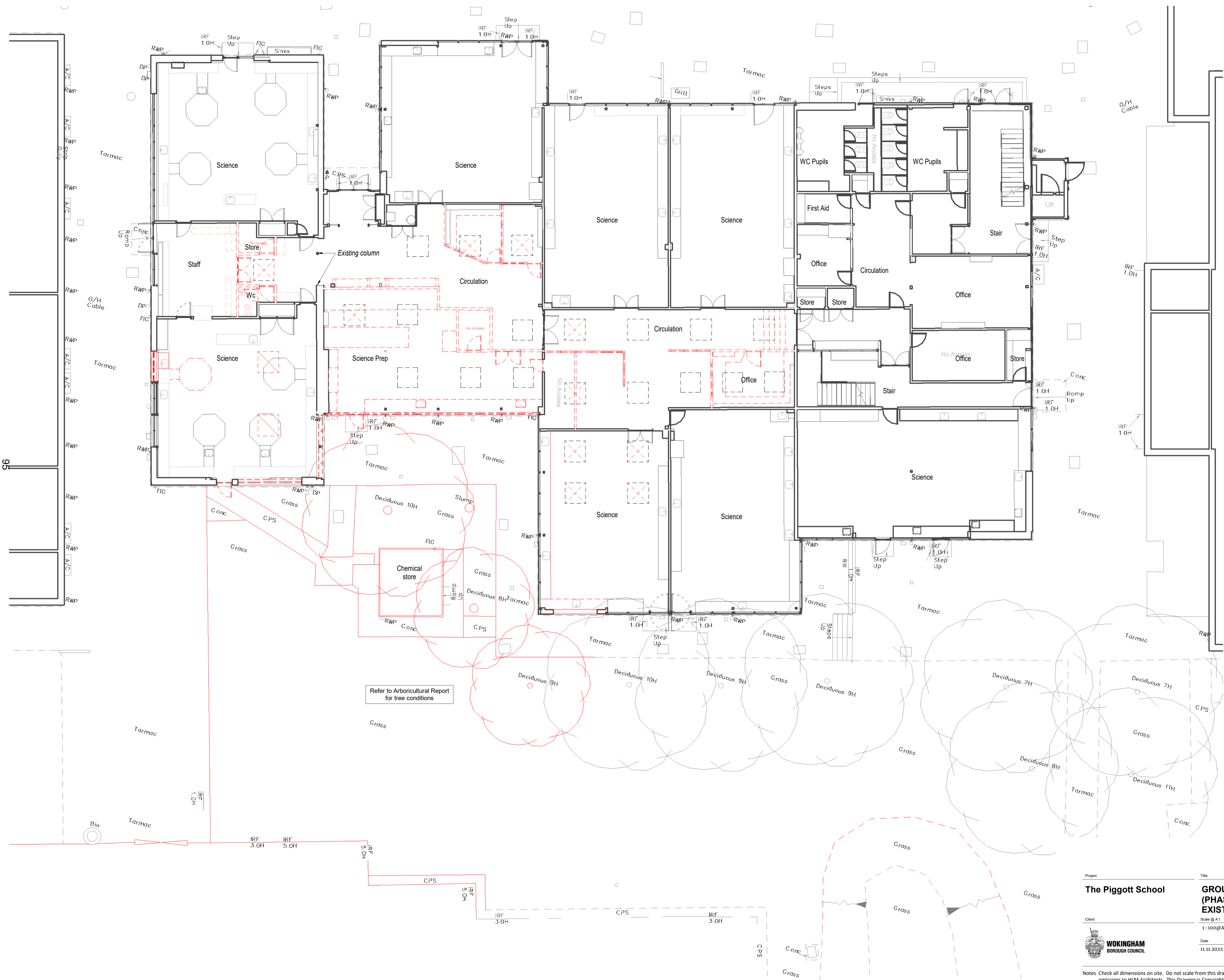
HLM Architects
www.hlmarchitects.com
T. +44 (0) 20 7921 4800
F. +44 (0) 20 7921 4850
london@hlmarchitects.com

This page is intentionally left blank

CONSTRUCTION PHASE HAZARD IDENTIFICATION
 In accordance with the Construction (Design & Management) Regulations 2015.

CDM
 The hazard sign is a notification to other designers and contractors of foreseeable exceptional risks resulting from the design activities carried out by HLM Architects Ltd, which are beyond those reasonably expected to be identified by a competent person, as defined in the Construction (Design and Management) Regulations 2015 - Regulation 9 & 10 and Industry Guidance for Designers (Section 4) published by the CDM (2015).

DRAWING REVIEWED	YES
EXCEPTIONAL RISKS / RISK CONTROL MEASURES	see warning triangle / none or see warning triangle

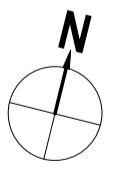


Rooflight Key - from below

- Existing rooflight in existing roof, no works indicated above amended rooms only
- Make good or replace rooflight on existing roof/ opening (asbestos to be removed or encapsulated as required)
- New rooflights and openings to existing roofs
- Proposed rooflight on proposed roof

DEMOLITION NOTES:

- Existing elements to be demolished.
- Demolished External Masonry Walls
Refer to elevation & sections also.



Project	Title
The Piggott School	GROUND FLOOR (PHASE 2) SCIENCE EXISTING

Client	Scale @ A1	Drawn
WOLKINGHAM BOROUGH COUNCIL	1:100@A1	AL
Date	Checked	
11.11.2022	KP	

Notes Check all dimensions on site. Do not scale from this drawing. Report any discrepancies and omissions to HLM Architects. This Drawing is Copyright©

1:50 5 M
 1:500 50 M
 1:100 10 M

HLM Architects
 Wool + Tallor Building
 Fifth Floor
 10-12 Allie Street
 London E1 8DE

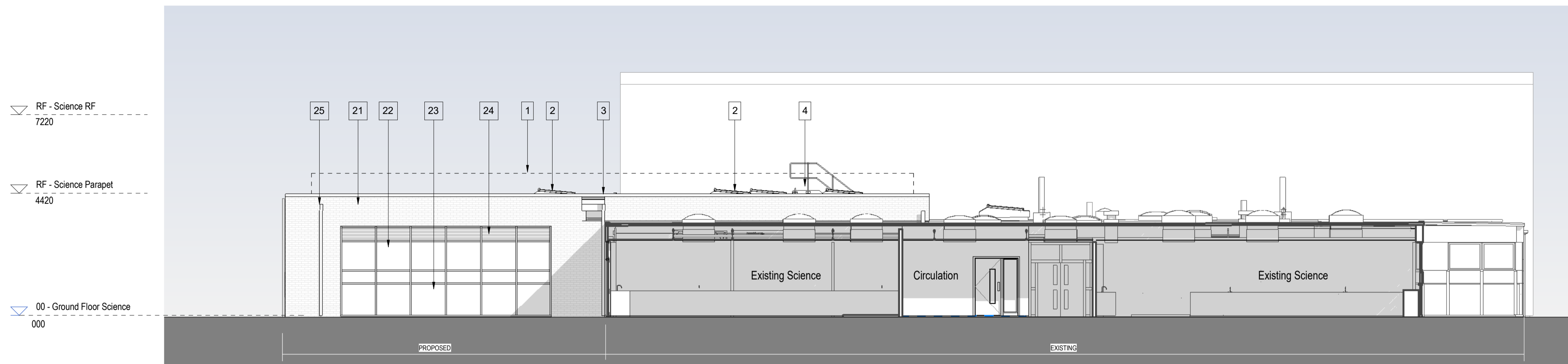
www.hlmarchitects.com
 T: +44 (0) 20 7921 4800
 F: +44 (0) 20 7921 4850
 london@hlmarchitects.com

This page is intentionally left blank

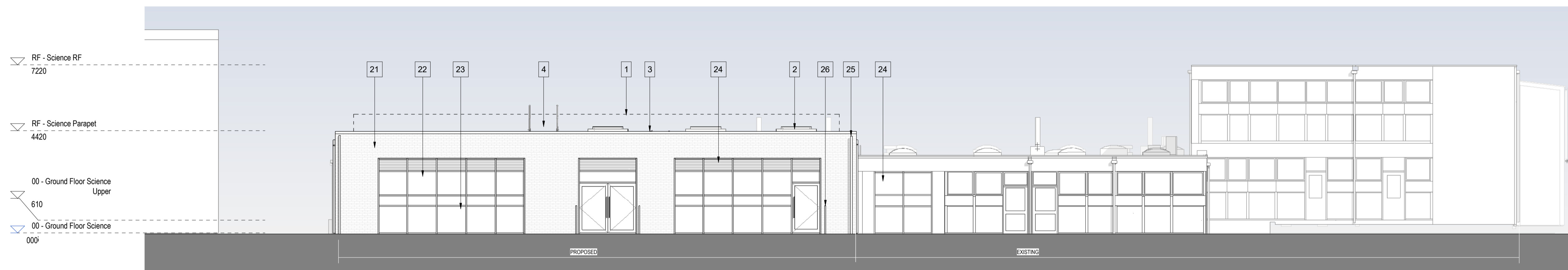
CONSTRUCTION PHASE HAZARD IDENTIFICATION
In accordance with the Construction (Design & Management) Regulations 2015.

CDM
The hazard sign is a notification to other designers and contractors of foreseeable exceptional risks resulting from the design activities carried out by HLM Architects Ltd, which are beyond those reasonably expected to be identified by a competent person, as defined in the Construction (Design & Management) Regulations 2015 - Regulation 9 & 10 and Industry Guidance for Designers (Section 4) published by the CITB (2015).

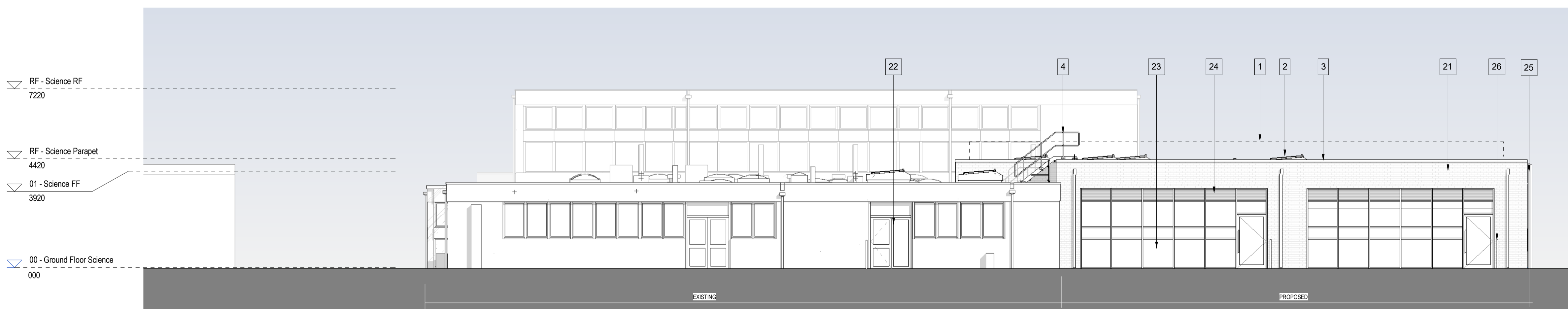
DRAWING REVIEWED	YES
EXCEPTIONAL RISKS / RISK CONTROL MEASURES	see warning triangle none or see warning triangle



Elevation Science East Proposed
Scale: 1 : 100



Elevation Science South Proposed
Scale: 1 : 100



Elevation Science West Proposed
Scale: 1 : 100

MATERIAL KEY: SCIENCE EXTERNAL ELEVATIONS

1	Product: Collapsible railings - outline shown Colour: Galvanised
2	Product: Rooflight
3	Product: Aluminium Capping Colour: Dark grey
4	Product: Fixed Roof Access
21	Product: Brick Colour: Red to match existing Science Brick
22	Product: Curtain Wall with Doors & Windows Colour: White
23	Product: Spandrel Panel Colour: Blue RAL 5005
24	Product: Louvers Colour: White to match
25	Product: Rain water pipe, anti-climb Colour: Dark grey
26	Product: Door hopr Colour: Refer to landscape drawings

NOTE: Products and colours to be equal or equivalent.

Pol: PLANNING APPLICATION ISSUE	11.11.2022	AL	KP
Pol: STAGE ISSUE	23.10.2022	KW	AL
Pol: DRAFT ISSUE	23.10.2022	KW	AL
Pol: DRAFT ISSUE	11.11.2022	KW	AL
Rev: Description	Date	By	CHK

Revisions	S4 STAGE APPROVAL	Subtality
Drawing No.	Revision	
PGT-HLM-P2-XX-DR-A-00302		P04

Project: **The Piggott School**

Client: **WOKINGHAM BOROUGH COUNCIL**

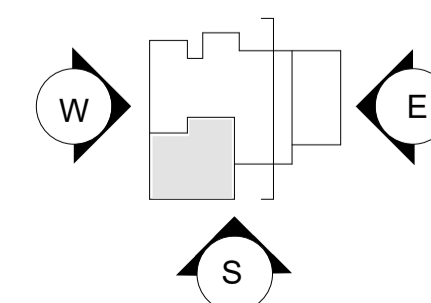
Title: **GA ELEVATIONS - (PHASE 2) SCIENCE PROPOSED**

Scale @ A1: 1:100@A1

Date: 11.11.2022

Drawn: AL

Checked: KP



Elevation Legend

Notes Check all dimensions on site. Do not scale from this drawing. Report any discrepancies and omissions to HLM Architects. This Drawing is Copyright©



HLM Architects
www.hlmarchitects.com
T: +44 (0) 20 7921 4800
F: +44 (0) 20 7921 4850
london@hlmarchitects.com

This page is intentionally left blank

CONSTRUCTION PHASE HAZARD IDENTIFICATION
In accordance with the Construction (Design & Management) Regulations 2015.

CDM
The hazard sign is a notification to other designers and contractors of foreseeable exceptional risks resulting from the design activities carried out by HLM Architects Ltd, which are beyond those reasonably expected to be identified by a competent person, as defined in the Construction (Design & Management) Regulations 2015 - Regulation 9 & 10 and Industry Guidance for Designers (Section 4) published by the CITB (2015).

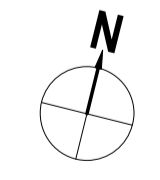
DRAWING REVIEWED	YES
EXCEPTIONAL RISKS / RISK CONTROL MEASURES	see warning triangle none or see warning triangle

Rooflight Key - from below

- Existing rooflight in existing roof, no works indicated above amended rooms only
- Make good or replace rooflight on existing roof/ opening (asbestos to be removed or encapsulated as required)
- New rooflights and openings to existing roofs
- Proposed rooflight on proposed roof



666



Refer to landscape drawings

Existing Sportspitch

The Piggott School	GROUND FLOOR (PHASE 2) SCIENCE PROPOSED	Project	Title
Client	Scale @ A1	Drawn	AL
	1:100@A1	Checked	KP
Date	11.11.2022	Checked	KP

Revisions	S4 STAGE APPROVAL	Suitability	PO4
Revision No.	Revision		
PGT-HLM-P2-00-DR-A-00152			

Notes Check all dimensions on site. Do not scale from this drawing. Report any discrepancies and omissions to HLM Architects. This Drawing is Copyright©

1:50 5 M
1:500 50 M
1:100 10 M

HLM Architects
www.hlmarchitects.com
Wool + Tallor Building
Fifth Floor
10-12 Aile Street
London E1 8DE

This page is intentionally left blank

Application Number	Expiry Date	Parish	Ward
221843	21 April 2023	Arborfield Newland	and Arborfield

Applicant	Mr Antonio Neto
Site Address	Reddam House, Bearwood Road, Sindlesham, Wokingham, RG41 5BG
Proposal	Full application for the proposed erection of a sports hall and new pool building following demolition of existing ancillary buildings. Creation of new landscaped permeable parking area on the site of an existing car park.
Type	Major All other developments
Officer	Brian Conlon
Reason for determination by committee	Major application

FOR CONSIDERATION BY	Planning Committee on Wednesday 12 th April 2023
REPORT PREPARED BY	Assistant Director – Place

SUMMARY
<p>The proposed development relates to the provision of improved sports facilities and car parking arrangements on the site of Reddam School, a co-educational, independent school for children from the age of 3 years to 18 years, which is a Grade II* listed building with the Sindlesham Conservation Area. However, the proposals do not impact or affect the historic core of the building but rather to C20th additions. The proposal is not located in a flood zone.</p> <p>Amendments were made during the application to add new brick piers between the Lobby Building and Laundry Building, the double doors leading out of Sports Hall redesigned to be glass panels rather than solid doors and the roof over the Lobby and Offices has been revised to a hipped roof. Further amendments were requested to the landscaping plans to revise the car park tree pit details, trees were moved to line up with the hedge, tree pit sizes increased to accommodate the rooting system of the trees and low growing meadow mix indicated on the lawns. The amendments addressed the concerns raised by internal consultations and no further objections have been received to these amended plans.</p> <p>A pre-application was received on 17th February 2022 which accepted the principle of the proposal subject to addressing consultee comments which have been included as part of the proposal.</p> <p>It is considered that the proposal would be compatible with its immediate surroundings in the context of the school setting. It would also not give rise to concerns relating to parking or traffic impacts, or to the protection of the existing residential amenities of the nearest residents, given the location of the proposal. The proposals seek buildings of a higher energy efficiency. There would be no harm to known biodiversity.</p> <p>The proposal is considered to accord with relevant policies contained within the NPPF as well as WBC's adopted Core Strategy and Managing Development Delivery Local</p>

Plan. As such, it is being recommended for conditional approval subject to a legal agreement for the payment of monies towards an Employment Skills Plan.

RECOMMENDATION

i) APPROVAL subject to conditions and Informatives & completion of S106 legal agreement to secure the following:

- Employment Skills Plan – To secure a construction phase Employment Skills and Training Plan or £3,750 equivalent financial contribution in accordance with Policy TB12 of the MDD and based on the value of the Construction Industry Training Board Benchmark.

OR

ii) REFUSE full planning permission if the legal agreement is not completed within three months of the date of this resolution (unless officers on behalf of the Assistant Director – Place and Growth agree to a later date for completion of the legal agreement)

PLANNING STATUS

- Grade II* Listed building
- Situated within Bearwood Park, a Grade II* Listed Historic Park and Garden.
- Sindlesham Conservation Area
- Countryside
- Thames Basin Heaths Special Protection Area

RELEVANT PLANNING HISTORY

Application Number	Proposal	Decision
153230	Application for advertisement consent for nonilluminated signage and flag posts. (Retrospective)	Approved 20/04/2017
202577	Application for Listed Building consent for the proposed removal of an internal wall on the second floor to open up the original corridor and archway, and internal alterations.	Approved 24/11/2020
212872	Application for the Listed Building consent for the proposed of the removal of internal walls and removal of toilets, building of new internal walls, plus existing plumbing to be extended out of the building and a new soil pipe to extend through existing external brick wall plus replacement casement windows and additional high level internal windows.	Approved 15/10/2021

SUMMARY INFORMATION	
Site Area	0.7ha
Existing parking spaces	100
Proposed parking spaces	116

CONSULTATION RESPONSES	
WBC Built Heritage Officer	Recommend conditional approval
WBC Landscape Officer	Recommend conditional approval
WBC Ecologist	No observations made
WBC Drainage	Recommend conditional approval
Historic England	No objection
Berkshire Gardens Trust	No objection
Natural England	No objection

REPRESENTATIONS

Town/Parish Council:

Winnersh Parish Council raised no observations.

Arborfield & Newland Parish Council – No comments

Local Members: Additional clarification sought on appendices included within application submission.

Neighbours: None received.

PLANNING POLICY		
National Policy	NPPF	National Planning Policy Framework
	NPPG	National Planning Practice Guidance
	NDG	National Design Guide
Adopted Core Strategy DPD 2010	CP1	Sustainable Development
	CP2	Inclusive Communities
	CP3	General Principles for Development
	CP7	Biodiversity
	CP8	Thames Basin Heaths Special Protection Area
	CP9	Scale and Location of Development Proposals
	CP11	Proposals outside development limits (including countryside)
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development

	CC02	Development Limits
	CC03	Green Infrastructure, Trees and Landscaping
	CC04	Sustainable Design and Construction
	CC05	Renewable energy and decentralised energy networks
	CC07	Parking
	TB21	Landscape Character
	TB23	Biodiversity and Development
	TB24	Designated Heritage Assets
Arborfield and Barkham Neighbourhood Plan (April 2020)	IRS1	Preservation of separation of settlements
	IRS2	Recognise, respect and preserve identity and rural setting of settlements.
	IRS3	Protection and enhancement of the natural environment and green spaces.
	IRS4	Protection and enhancement of the historic character of the area.
	TC3	Conditional support for businesses in the countryside and agriculture.
	AD3	High quality development with generous open space, properly landscaped.
Supplementary Planning Documents (SPD) / other		Borough Design Guide

PLANNING ISSUES

Site Description

1. The proposal site is located within the grounds of Reddam House School, Sindlesham, formerly known as Bearwood College, a grade II* listed building. The wider site is a registered park and garden and has a number of Listed Buildings within its grounds. It also forms part of the Sindlesham Conservation Area.
2. The Reddam estate is bound to the east and west by Bearwood Road and Mole Road respectively and to the south by Bearwood Lake and a Golf Course.
3. The School currently provides an indoor swimming pool, a gymnasium, a 4G turf pitch, netball courts, tennis courts, dance studios and multiple grass pitches for outdoor sports. There is also a lake providing the ability to teach water sports as well as extensive grounds which provide facilities for other activities such as paintballing and climbing. The existing School sports facilities are well-used, however the swimming pool building is in a poor state of repair and the existing gym is not of sufficient size or specification to serve the Schools' current needs.

Description of Development

4. The application proposes a new sports hall, replacement swimming pool exterior building and demolition of 3 ancillary single-storey buildings plus a low boundary wall. The new sports hall would be built abutting the plant room and existing buildings. The changing rooms would be extended and a new viewing gallery on the first floor overlooking the sports hall. The existing swimming pool is to be retained with a new building to be built over the pool to replace the existing building.
5. The proposal also seeks to deliver a new car park with 16 parking spaces (and electrical charging points) in the location of a current single storey brick building (adjacent to a mature Yew tree). The car park is proposed to be landscaped with new trees and a surrounding hedge. The proposal also seeks to improve permeability through the site by providing a landscaped walkway connecting the main entrance parking area to the accommodation blocks to the east.

Principle of Development

6. The National Planning Policy Framework (NPPF) has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan (MDD) Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
7. Core Strategy Policy CP11 - Proposals outside Development Limits (including countryside) is relevant as the site, as a whole, lies within the countryside. However, the policy does allow for proposals outside of development limits where it does not lead to excessive encroachment or expansion of development away from the original buildings and where the proposal is contained within suitably located buildings which are appropriate for conversion, or in the case of replacement buildings would bring about environmental improvement. This is to ensure that the proposal protects the separate identity of settlements and maintains the quality of the environment.
8. Policy CP11 also allows for 'Essential community facilities [which] cannot be accommodated within development limits or through the re-use/replacement of an existing building'. Community facilities are listed in paragraph 4.17 and include development for education. In addition, Policy CP2 of the Core Strategy aims to ensure that new development contributes to the formation of sustainable and inclusive communities through the provision of community facilities (including educational buildings).
9. Paragraph 92 of the NPPF seeks to achieve healthy, inclusive and safe places which enable the provision of sports facilities and decisions should provide social, recreational and cultural facilities and services for the communities. Improvement/expansion of this facility therefore is supported by the NPPF. Paragraph 95 states that great weight should be given to the need to create, expand or alter schools through decisions on applications.

10. The new facilities are required to make improvements to the building in terms of its energy efficiency and are within the grounds of the school and hence there would not be any encroachment on the wider countryside and thus complies with the principle aims of Policy CP2, CP11 and the NPPF.

Impact on Heritage Assets

11. MDD policy TB24 sets out that the Borough Council will conserve and seek the enhancement of designated heritage assets in the Borough and their settings by requiring works to or affecting heritage assets or their setting to demonstrate that the proposals would at least conserve and, where possible enhance the important character and special architectural or historic interest of the building, Conservation Area, or park and garden including its setting and views.
12. A Heritage Assessment by Wessex Archaeology concludes that the proposal would not affect any historic fabric and the works are concentrated solely in the setting of the Listed Buildings. There are a number of disused and dilapidated out-buildings which are to be replaced or externally renovated to improve the character of the site and setting of the Grade II* Listed building.
13. The overall new scheme has been carefully designed, to be an enhancement and compliment the main existing historic buildings and would not harm the character and appearance of the Sindlesham Conservation Area. The existing service area to the School, where piecemeal 20th century outbuildings exist has resulted in a neutral impact on the parkland setting and wider historic buildings. The revised plans, which have been sent following extensive meetings with the Council's Heritage Officer, Historic England and Berkshire Gardens Trust, ensure that the design would serve to enhance the setting of the listed buildings. The more significant areas of the parkland are to the front and rear of the main Victorian Gothik building leaving the service area open to development in a less sensitive space. The proposed new buildings are inevitably larger in size and bulk than existing due to their functions for school use. However, the principle of development in this location has been accepted in the past and is now accepted again with this proposal.
14. The Council's Heritage Officer raises no objections subject to a number of conditions ensuring details of the water runoff from the roofs of the new gymnasium and pool buildings are submitted prior to commencement of development.

Design

15. Paragraph 126 of the NPPF states that *"the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities"*.
16. The proposal would concentrate development to the part of the site which sits behind the grand listed building. To the rear of the site are a number of outbuildings, dating from the C20th which are in ad hoc locations, some of which are to be demolished to make way for this proposal. This is best seen on page 7

of the Design and Access Statement which shows clearly which buildings are to be demolished.

17. The design of the new proposals is very much in keeping with the existing architecture of the sports facilities. The buildings are a similar height to the existing surrounding buildings, at either single or double storey. Materials are to match existing buildings with brick walls and zinc roofs. Fenestration is proposed along the front elevation of the pool room whilst the sports hall would include pillar details to provide interest and relief within the long eastern elevation.
18. Overall, the proposed design is considered to be a high standard and hence accords with national and local policy which seeks high quality, beautiful and sustainable buildings.

Impact on wider character of the area

19. The area to which this proposal relates is located centrally within the school grounds and would not be visible from the streetscene. There would be no harmful impact on the character of the area.

Impact on neighbour amenities

20. Due to the significant distance to any neighbouring properties, the proposal would not be harmful to the amenities of neighbouring residents.

Access and Movement

21. CP6 of the Core Strategy relates to managing travel demand. Managing Development Delivery Policy CC07 states that planning permission will only be granted if a proposal for development demonstrates how parking provisions are met to highways standards and a provision for electric vehicle charging spaces.
22. There is anticipated to be no direct uplift in trip generation as a result of the development proposals, there is anticipated to be no impact of the proposals across the surrounding road network on either highway safety or capacity, therefore the development proposals complies with Paragraph 111 of the National Planning Policy Framework (NPPF).
23. The School has a large car park area directly outside of the main building. This application seeks to formalise a smaller car park area to the south east of the application site. The proposed parking spaces meet the required standards and allow for sufficient turning within the site. With respect to vehicle charging the proposal seeks to introduce provisions above what it is expected by policy.

Landscape and Trees

24. Core Strategy Policies CP1 and CP3 require a high quality design that respects its context. This requirement is amplified by MDDL Policies CC03 and TB21 which require development proposals to protect and enhance the Borough's Green Infrastructure, retaining existing trees, hedges and other landscape features wherever possible and incorporating high quality - ideally native - planting as an integral part of any scheme.

25. The proposal results in the loss of 7 trees and as such 11 semi-mature trees will be planted as compensation. The trees proposed to be removed appear to be choked by ivy and the roots are constrained by existing built form and impermeable hardstanding. The proposed trees would benefit from root barriers to direct the roots down to ensure there is a reduced conflict. Full details of the proposed trees and protection of retained trees is detailed within the submitted Landscape Plan. The application is supported by an Arboricultural Impact Assessment undertaken by Arbtech.
26. Natural England considers that the proposed development would not have significant adverse impacts on statutorily protected nature conservation sites or landscapes.
27. The Council's Landscape and Trees officer has advised that the revised Landscape Plan is acceptable. The Tree Protection information needs to be updated as appropriate and an Arboricultural Method Statement including Tree Protection information is required to be submitted as a condition.

Sustainable design

28. In accordance with policy CC04, the proposal has been designed to high sustainable credentials including the generation of onsite renewable energy from 54m² of solar panels which will produce peak energy of 165w/m². The proposed development has been designed to achieve 10% onsite renewable energy.
29. Other sustainable design features have been incorporated including making best use of solar gains through its orientation and the use of high level glazing. Natural ventilation is proposed to ensure less reliance on power and the pool will be ventilated with more efficient plant. All lights will be LED and all the lights internally will be connected to presence detectors so if the room is not in use the lights will be off. The new buildings will incorporate a method of energy monitoring to allow the energy efficiency to be managed. The pool will have a cover installed to retain heat and reduce lost heat.

Biodiversity

30. Policy CS7: Biodiversity and MDD Policy TB23 'Biodiversity and Development' states that developments will be granted where they provide opportunities, including through design, layout and landscaping to incorporate new biodiversity features.
31. The application is supported with a Bat Emergence and Re-entry Surveys report which concludes that no bat roosts were identified at the site. However, as bats can switch roosts a precautionary working method is proposed to be implemented. Buildings B2, B3, B4 and B5 were assessed as having a low potential to support roosting bats and will be subject to direct or indirect disturbance as a result of the proposed development. The proposal would provide a net gain of tree planting and biodiversity by way of the inclusion of 65 metres of mixed native hedgerow. Requirements are also made for a sensitive lighting strategy. Proposals for bat boxes on mature trees around the site are to be added as a condition.

Planning Obligations

32. Managing Development Delivery Policy TB08 makes it mandatory that major development proposals are accompanied by an Employment and Skills plan that outlines how the proposal provides opportunities for training, apprenticeships, or other vocational initiatives to develop local employability skills required by developers, contractors, or end users.
33. The proposal is required to contribute to employment and skills in the borough. Further to discussion with the employment skills team at WBC, it is understood that a contribution of £3750 is expected in lieu of an Employment Skills Plan. The applicant's have agreed to enter into a legal agreement to pay this sum upon approval of the proposed development.

CONCLUSION

As detailed above, the proposals would be compatible with its immediate surroundings in the context of the school setting. It would also not give rise to concerns relating to parking or traffic impacts, or to the protection of the existing residential amenities of the nearest residents, given the location of the proposal. The proposals seek buildings of a higher energy efficiency. There would be no harm to known biodiversity.

The proposal is considered to accord with relevant policies contained within the NPPF as well as WBC's adopted Core Strategy and Managing Development Delivery Local Plan. As such, it is being recommended for conditional approval subject to a legal agreement for the payment of monies towards an Employment Skills Plan.

Accordingly, the application is recommended for approval.

The Public Sector Equality Duty (Equality Act 2010)

In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

APPENDIX 1

Conditions / informatives

1. Timescale

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. Approved details

This permission is in respect of the submitted application plans and drawings numbered 100 and 215 received by the local planning authority on 18th July 2022, 3807/202/F, 3807/204/F, 3807/205/D, 3807/209/F, 3807/211/E, 3807/212/B, 3807/214/F, 3807/216/D received by the local planning authority on 21st February 2023, 3807/203 Rev G, 3807/210 Ref E, 3807/201/Rev G and Proposed Materials Schedule received 15th March 2023 and 3807/150/C received on 29th March 2023. The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. Historic Gate Pier & Wall Section

Notwithstanding the details submitted prior to commencement of works to strip out and demolish the pool building and adjacent plant (respectively labelled number 1 and 2 on Demolition Plan, drawing 3807/150 Rev. C) until details for retaining in-situ within the hereby approved development of the historic gate pier and attached section of former historic boundary walling have been submitted to and approved in writing by the local planning authority. Details required are to include:

- Measures to protect the gate pier and associate wall during the demolition and construction phases of the approved development.
- Details, including scaled sectional drawings showing how the whole of the existing gate pier and section of original boundary walling are to be incorporated into the new development for the pool building.

Works to demolish the existing pool, plant room structures, and build the new pool building are to then be undertaken in accordance with the details as approved.

Reason: In order to safeguard the special architectural or historic interest of the building. Relevant policy: National Planning Policy Framework Section 16 (Conserving and Enhancing the Historic Environment) and Managing Development Delivery Local Plan policy TB24.

4. Matching finishes

All external works of alteration to the existing buildings, including the blocking-up of openings and works of making good to the retained fabric, shall be finished to

match the adjacent work, regarding the methods used and to material, colour, texture, and profile.

Reason: In order to safeguard the special architectural or historic interest of the building. Relevant policy: National Planning Policy Framework Section 16 (Conserving and Enhancing the Historic Environment) and Managing Development Delivery Local Plan policy TB24

5. Rooflight

Notwithstanding the details submitted no works shall be undertaken to replace the roof-light to the flat roof of the two-storey corridor structure along the eastern side of the existing gymnasium building until details for the replacement roof-lights have been submitted to and approved in writing. The replacement of the roof-light shall then be undertaken in accordance with the details as approved.

Reason: In order to safeguard the special architectural or historic interest of the building. Relevant policy: National Planning Policy Framework Section 16 (Conserving and Enhancing the Historic Environment) and Managing Development Delivery Local Plan policy TB24.

6. Rainwater runoff

Notwithstanding the details submitted no works shall be undertaken beyond foundation level for the hereby approved development until details for the management of rainwater runoff from the roofs of the buildings have been submitted to and approved in writing by the local planning authority. The management of rainwater from the buildings shall be undertaken in accordance with the details as approved.

Reason: To ensure that the external appearance of the building is satisfactory. Relevant policy: Core Strategy policies CP1 and Managing Development Delivery Local Plan policies CC09 and CC10.

7. Sustainable drainage

No building hereby permitted shall be occupied until surface water drainage works have been implemented in accordance with details that have been submitted to and approved in writing by the local planning authority. Before these details are submitted an assessment shall be carried out of the potential for disposing of surface water by means of a sustainable drainage system in accordance with the principles set out in Annex F of PPS25 (or any subsequent government guidance), and the results of the assessment provided to the local planning authority. Where a sustainable drainage scheme is to be provided, the submitted details shall:

- i) provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii) include a timetable for its implementation; and
- iii) provide a management and maintenance plan for the lifetime of the development which shall include if applicable the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

To prevent increased flood risk from surface water run-off. Relevant policy: NPPF Section 14 (Meeting the Challenge of Climate Change, Flooding and Coastal

Change), Core Strategy policy CP1 and Managing Development Delivery Local Plan policies CC09 and CC10.

8. Protection of trees

a) No development or other operation shall commence on site until an Arboricultural Method Statement and Scheme of Works which provides for the retention and protection of trees, shrubs and hedges growing on or adjacent to the site in accordance with BS5837: 2012 has been submitted to and approved in writing by the local planning authority. No development or other operations shall take place except in complete accordance with the details as so-approved (hereinafter referred to as the Approved Scheme).

b) No operations shall commence on site in connection with development hereby approved (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) until the tree protection works required by the Approved Scheme are in place on site.

c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.

d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval in writing of the local planning authority has first been sought and obtained.

Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21

9. Biodiversity mitigation and enhancements

Prior to construction work proceeding above slab level, details of ecological enhancement proposals including enhancements outlined within Section 4 and Table 9 of the Ecological Appraisal as prepared by Arbtech (April 2022) has been submitted to and approved in writing by the local planning authority. The ecological enhancement scheme shall include provision of minimum three bat brick or boxes and native tree and hedge planting and enhancement strategy including details of monitoring maintenance, funding and management responsibilities. The development works are to be carried out in full accordance with the ecological enhancement scheme so approved prior to the occupation of any part of the development or in accordance with a timetable approved in writing by the local planning authority.

Reason: To incorporate biodiversity in and around developments, limit the impact of the scheme on reptiles and to secure a net gain for biodiversity. Relevant policies: Paragraphs 170, 174 and 180 of the NPPF, Policy CP7 of the Core Strategy, Policy TB23 of the Managing Development Delivery Local Plan and

Section 41 NERC Act re. UK Biodiversity Action Plan Priority Species (Species of Principal Importance).

10. Lighting

No development shall be occupied until a lighting design strategy has been submitted to and approved in writing by the local planning authority. Such details shall include location, height, type and direction of light sources and intensity of illumination and through the provision of appropriate contour plans, curfews and technical specifications clearly demonstrate that any areas to be lit will not disturb or negatively impact biodiversity and dark corridors will be maintained. All lighting shall be installed in accordance with the specifications and locations set out in the strategy, and these shall be maintained thereafter in accordance with the strategy. Under no circumstances should any other external lighting be installed without prior consent from the local planning authority. The lighting scheme shall not include any street lighting. Reason: To limit the impact of light pollution on the Natural Environment, and bats in particular. Relevant policy: NPPF Paragraphs 170, 174 and 180 and Core Strategy Policy CP7.

11. Sustainable Design and Construction

(a) Prior to construction work proceeding above slab level, a Design Stage Certificate for each building comprised in the development, shall be submitted to and approved in writing by the Local Planning Authority. The Design Stage Certificate shall be prepared by a suitably qualified assessor and shall demonstrate that that the building(s) will achieve a minimum BREEAM (or equivalent) rating of 'Excellent'.

(b) Within three months of the occupation of each of the building comprised in the development, a Post-Construction Certificate in respect of that building shall be submitted to and approved in writing by the Local Planning Authority. The Post Development Certificate shall be prepared by a suitably qualified assessor and shall demonstrate that the building achieved compliance with BREEAM (or equivalent) rating of 'Excellent' as a minimum.

Reason: To ensure developments contribute to sustainable development.

Relevant Policies: Chapter 14 of the NPPF (Meeting the challenge of climate change, flooding and coastal change), Wokingham Borough Core Strategy Policy CP1, Managing Development Delivery Local Plan Policies CC04 and CC05, and the Sustainable Design and Construction Supplementary Planning Document (2010).

12. Sustainability & Climate Change

Prior to works proceeding beyond the slab level, a scheme demonstrating that at least 10% of the reduction in carbon emissions will be achieved through renewable energy or low carbon technology shall be submitted to and approved in writing by the Local Planning Authority. The minimum 10% reduction so required shall be achieved on top of the levels of reduction in carbon emissions required through the Building Regulations in force at the time of the submission of planning application. The approved scheme shall be implemented before the development is first brought into use and shall remain operational for the lifetime of the development.

Reason: To ensure developments contribute to sustainable development.
Relevant Policies: Chapter 14 of the NPPF (Meeting the challenge of climate change, flooding and coastal change), Wokingham Borough Core Strategy Policy CP1, Managing Development Delivery Local Plan Policy CC05, and the Sustainable Design and Construction Supplementary Planning Document (2010)

Informatives

1. Section 106 agreement

This permission should be read in conjunction with the legal agreement under section 106 of the Town and Country Planning Act dated [INSERT], the obligations in which relate to this development.

2. Pre commencement conditions

The applicant is reminded that this approval is granted subject to conditions which must be complied with prior to the development starting on site. Commencement of the development without complying with the pre-commencement requirements may be outside the terms of this permission and liable to enforcement action. The information required should be formally submitted to the Council for consideration with the relevant fee. Once the details have been approved in writing the development should be carried out only in accordance with those details. If this is not clear please contact the case officer to discuss.

3. Demolition Notice

The applicant is reminded that a Demolition Notice may be required to be served on the Council in accordance with current Building Regulations and it is recommended that the Building Control Section be contacted for further advice.

4. Changes to the approved plans

The applicant is reminded that should there be any change from the approved drawings during the build of the development this may require a fresh planning application if the changes differ materially from the approved details. Non-material changes may be formalised by way of an application under s.96A Town and Country Planning Act 1990.

5. Discussion

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including 176 planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of a pre-application process and addressing concerns relating to highway safety. The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

6. Drainage advice

The LLFA requires to see details of 3 new soakways along with their location. As per the condition, more information regarding surface water drainage is required.

APPENDIX 2

PLANNING REF : 221843
PROPERTY ADDRESS : Winnersh Community Centre
: New Road, Sindlesham, Wokingham
: RG41 5DX
SUBMITTED BY : Winnersh Parish Council
DATE SUBMITTED : 17/08/2022

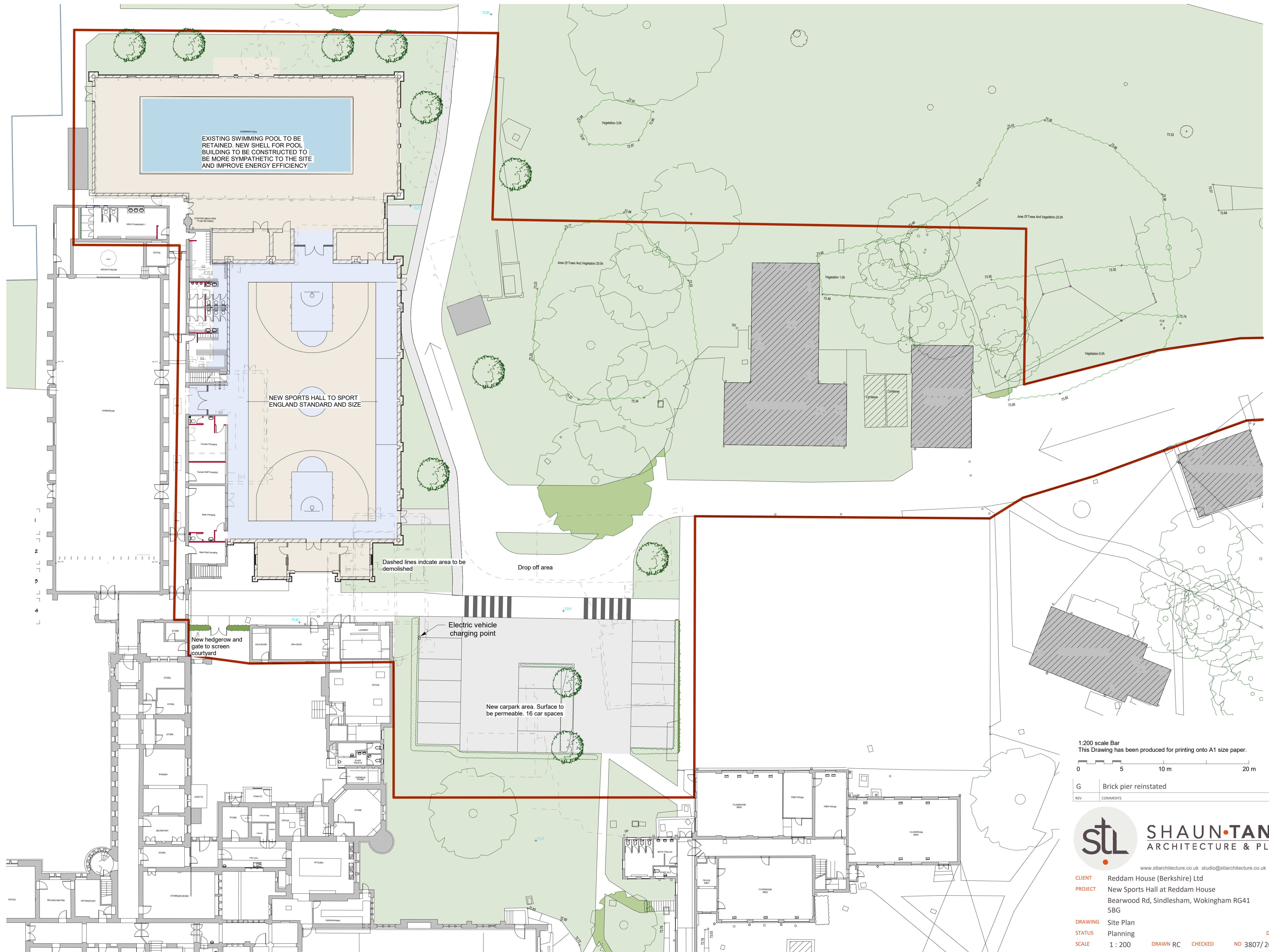
COMMENTS:

Winnersh Parish Council Planning and Transport Committee made no observations on the application.

PLANNING REF : 221843
PROPERTY ADDRESS : Arborfield Village Hall
: Eversley Road, Arborfield
: RG2 9PQ
SUBMITTED BY : Arborfield & Newland Parish Council
DATE SUBMITTED : 21/09/2022

COMMENTS:

No Objections



1:200 scale Bar
This Drawing has been produced for printing onto A1 size paper.

G	Brick pier reinstated	14/03/23
REV	COMMENTS	DATE

stl SHAUN TANNER ARCHITECTURE & PLANNING

www.stlarchitecture.co.uk studio@stlarchitecture.co.uk 0118 989 0808

CLIENT Reddam House (Berkshire) Ltd

PROJECT New Sports Hall at Reddam House
Bearwood Rd, Sindlesham, Wokingham RG41 5BG

DRAWING Site Plan

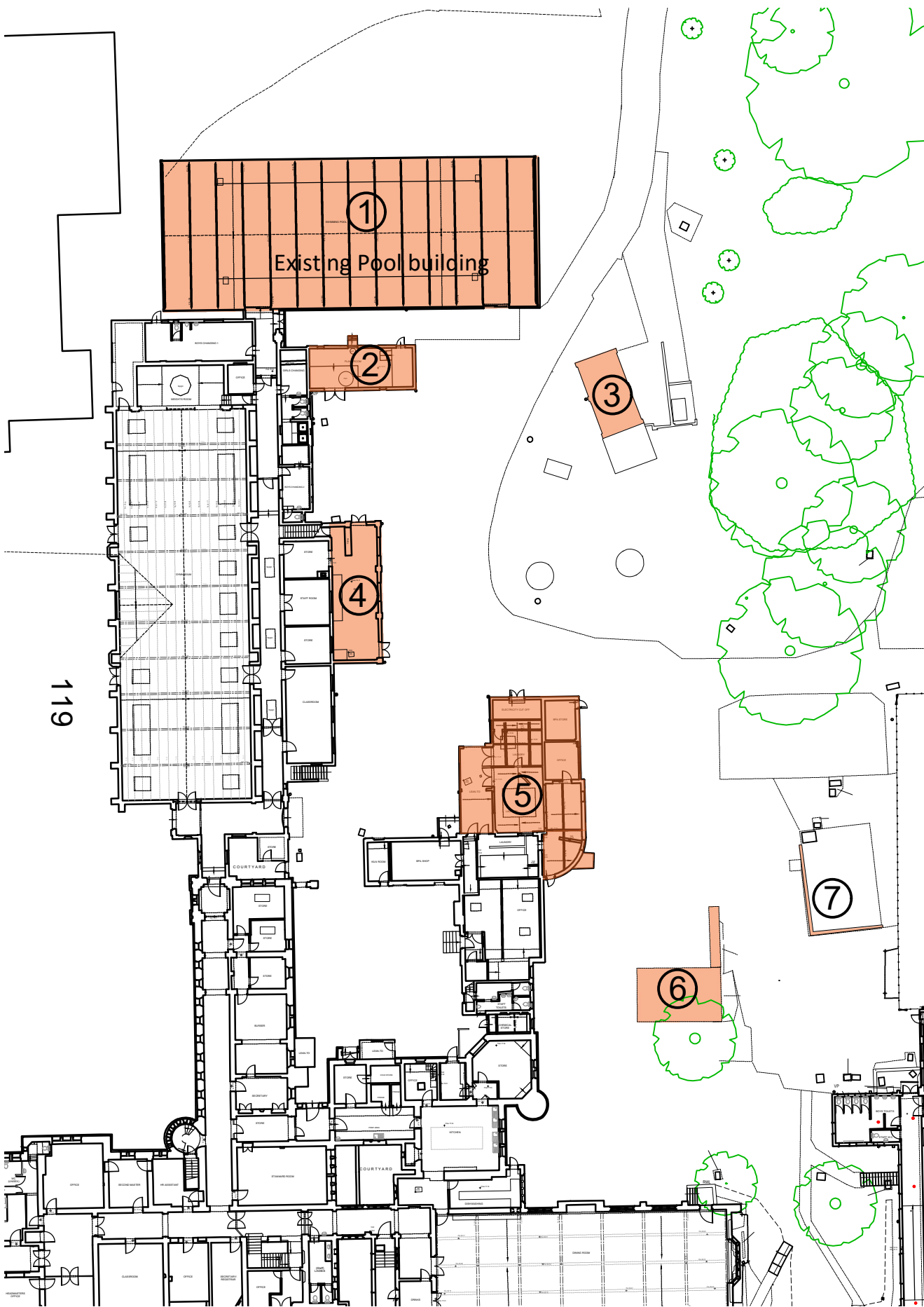
STATUS Planning

SCALE 1 : 200 DRAWN RC CHECKED NO 3807/203 REV G

DATE Aug 2021

THIS DRAWING MUST NOT BE SCALED UNLESS ISSUED FOR PLANNING PURPOSES. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO SETTING OUT, COMMENCING WORK, OR PRODUCTION OF FABRICATION DRAWINGS. REPORT ANY DISCREPANCIES TO THE SUPERVISING OFFICER IMMEDIATELY.

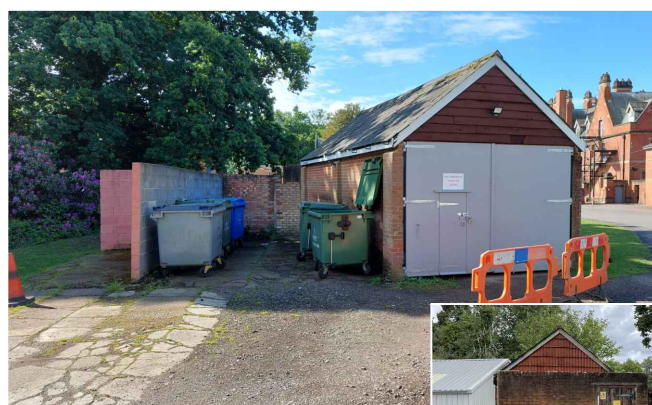
This page is intentionally left blank



Building 1



Building 2



Building 3 to be demolished wall surrounding it to be retained.



Building 4



Building 5



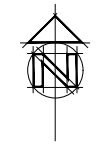
Building 6



Service Area 7 - low wall to be demolished.

Existing building areas to be demolished.

1:500 scale Bar
 This Drawing has been produced for printing onto A3 size paper,
 0m 5m 10m 20m 40m



C	Proposed Demolition areas revised.	29/11/22
REV	COMMENTS	DATE

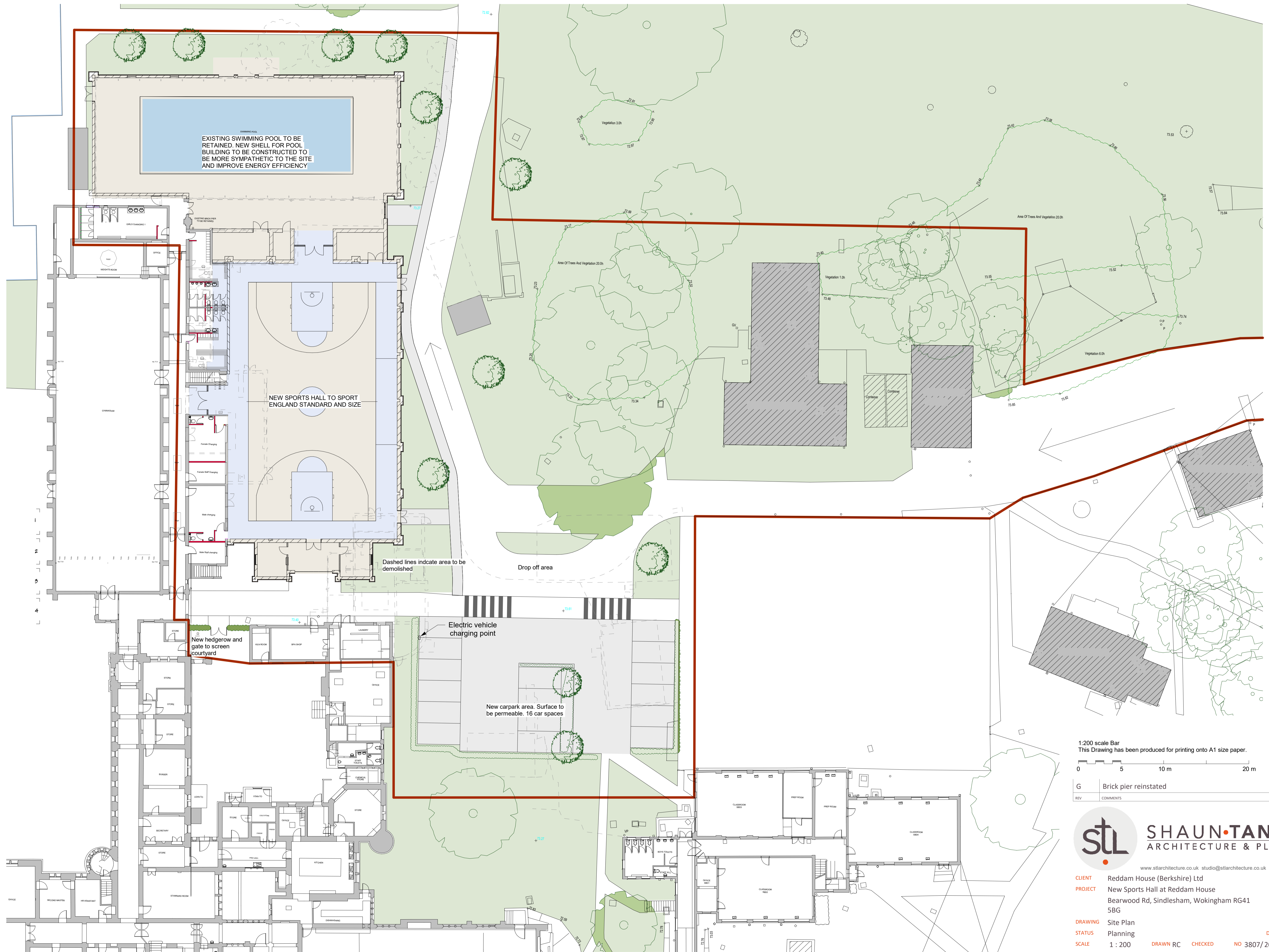
stl **SHAUN TANNER**
 ARCHITECTURE & PLANNING
 www.stlarchitecture.co.uk studio@stlarchitecture.co.uk 0118 989 0808

CLIENT Reddam House (Berkshire) Ltd
 PROJECT New Sports Hall at Reddam House
 Bearwood Rd, Sindlesham, Wokingham, RG41 5BG
 DRAWING Demolition Plan

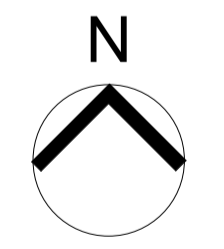
STATUS Planning DATE Dec 2021
 SCALE 1:500 DRAWN RC CHECKED NO 3807/150 REV C

THIS DRAWING MUST NOT BE SCALED UNLESS ISSUED FOR PLANNING PURPOSES. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO SETTING OUT, COMMENCING WORK, OR PRODUCTION OF FABRICATION DRAWINGS. REPORT ANY DISCREPANCIES TO THE SUPERVISING OFFICER IMMEDIATELY. ©

This page is intentionally left blank



1:200 scale Bar
 This Drawing has been produced for printing onto A1 size paper.



G	Brick pier reinstated	14/03/23
REV	COMMENTS	DATE

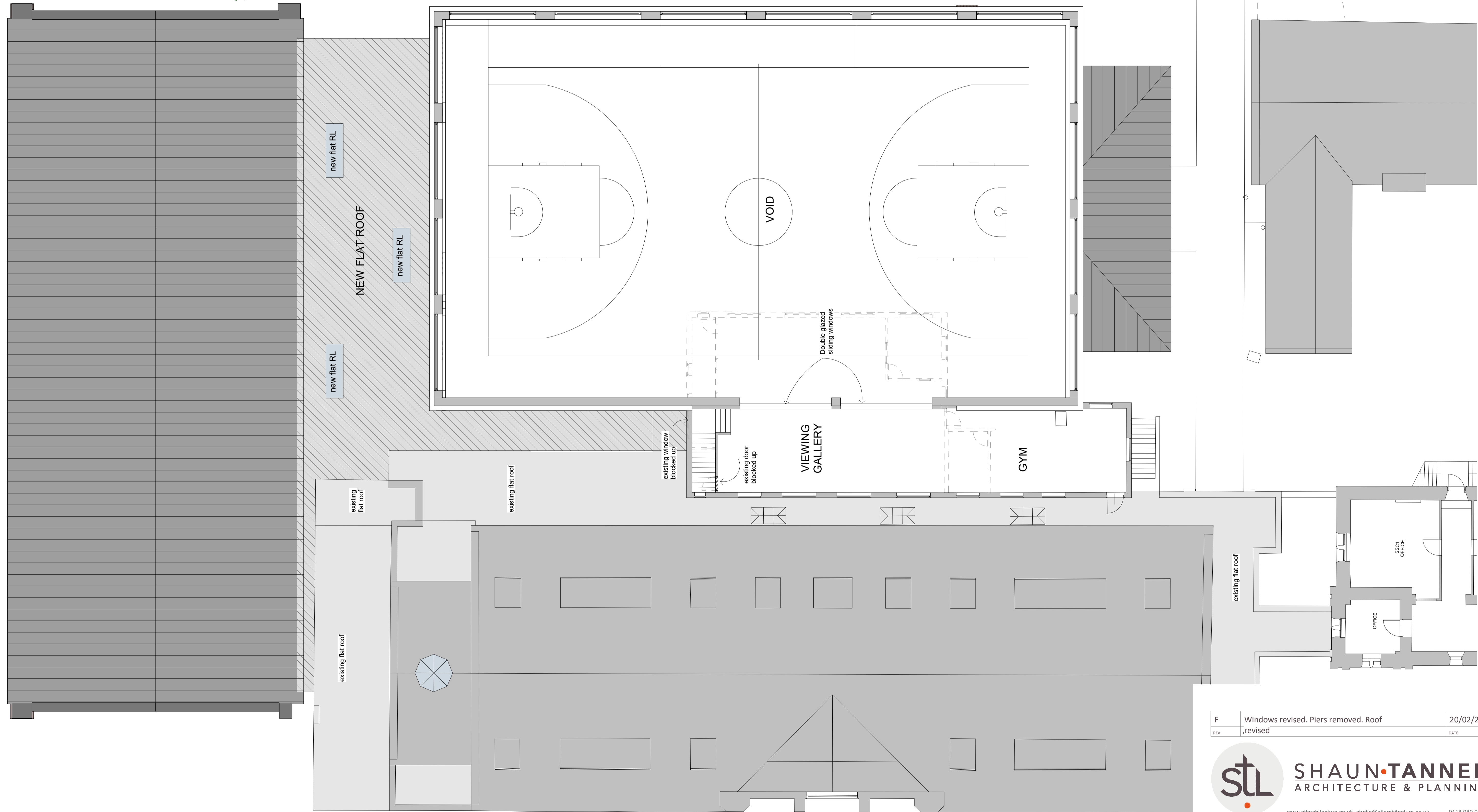
STL SHAUN TANNER
 ARCHITECTURE & PLANNING

www.stlarchitecture.co.uk studio@stlarchitecture.co.uk 0118 989 0808

CLIENT Reddam House (Berkshire) Ltd
PROJECT New Sports Hall at Reddam House
 Bearwood Rd, Sindlesham, Wokingham RG41 5BG
DRAWING Site Plan
STATUS Planning
SCALE 1 : 200
DRAWN RC **CHECKED** NO 3807/203 **REV** G
DATE Aug 2021

THIS DRAWING MUST NOT BE SCALED UNLESS ISSUED FOR PLANNING PURPOSES. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO SETTING OUT, COMMENCING WORK, OR PRODUCTION OF FABRICATION DRAWINGS. REPORT ANY DISCREPANCIES TO THE SUPERVISING OFFICER IMMEDIATELY.

This page is intentionally left blank

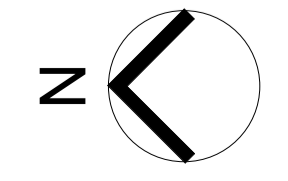
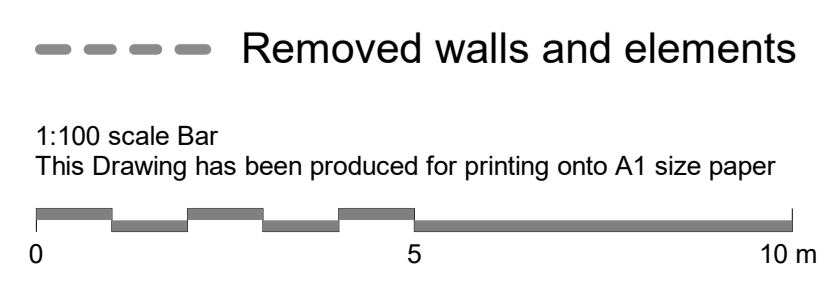


F	Windows revised. Piers removed. Roof	20/02/23
REV	.revised	DATE

stl **SHAUN TANNER**
ARCHITECTURE & PLANNING

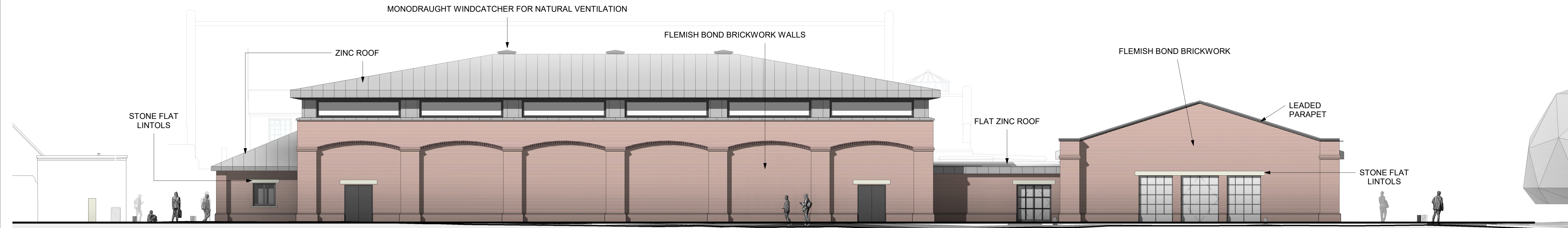
www.stlarchitecture.co.uk studio@stlarchitecture.co.uk 0118 989 0808

CLIENT Reddam House (Berkshire) Ltd
PROJECT New Sports Hall at Reddam House
 Bearwood Rd, Sindlesham, Wokingham RG41 5BG
DRAWING First Floor Plan
STATUS Planning DATE Aug 2021
SCALE 1 : 100 **DRAWN** RC **CHECKED** NO 3807/202 **REV** F



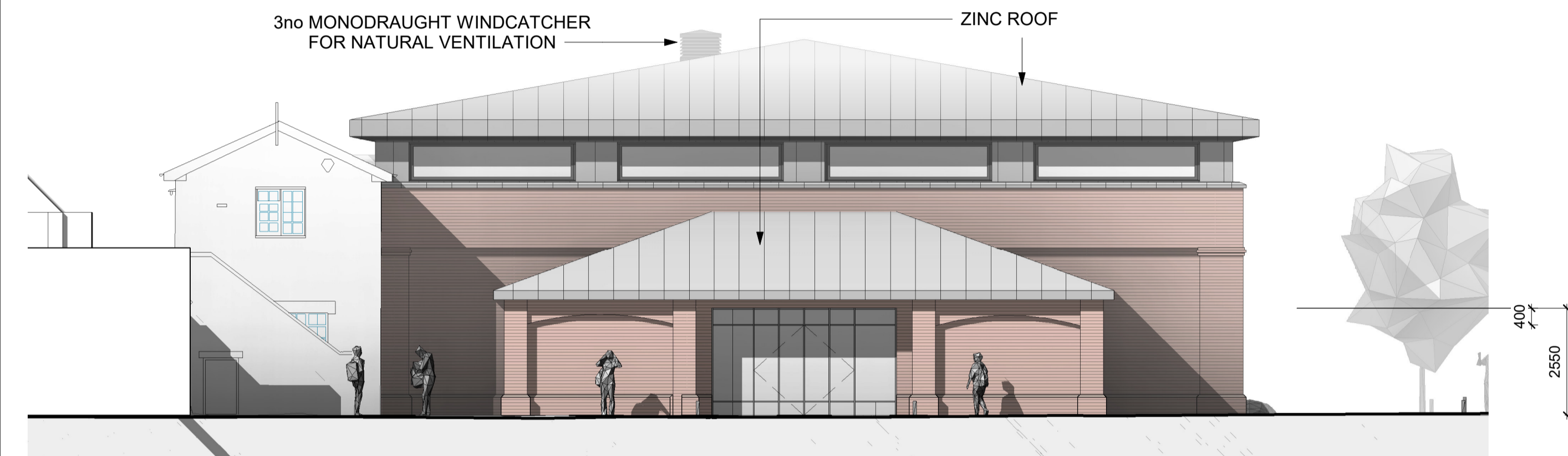
THIS DRAWING MUST NOT BE SCALED UNLESS ISSUED FOR PLANNING PURPOSES. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO SETTING-OUT, COMMENCING WORK, OR PRODUCTION OF FABRICATION DRAWINGS. REPORT ANY DISCREPANCIES TO THE SUPERVISING OFFICER IMMEDIATELY. ©

This page is intentionally left blank



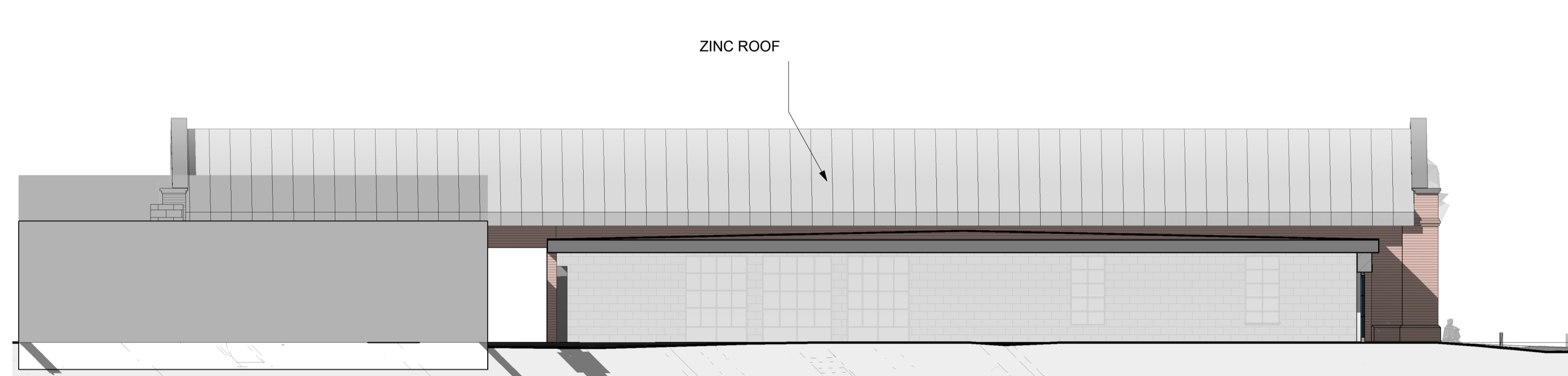
East elevation of sports hall and pool building

1 : 100



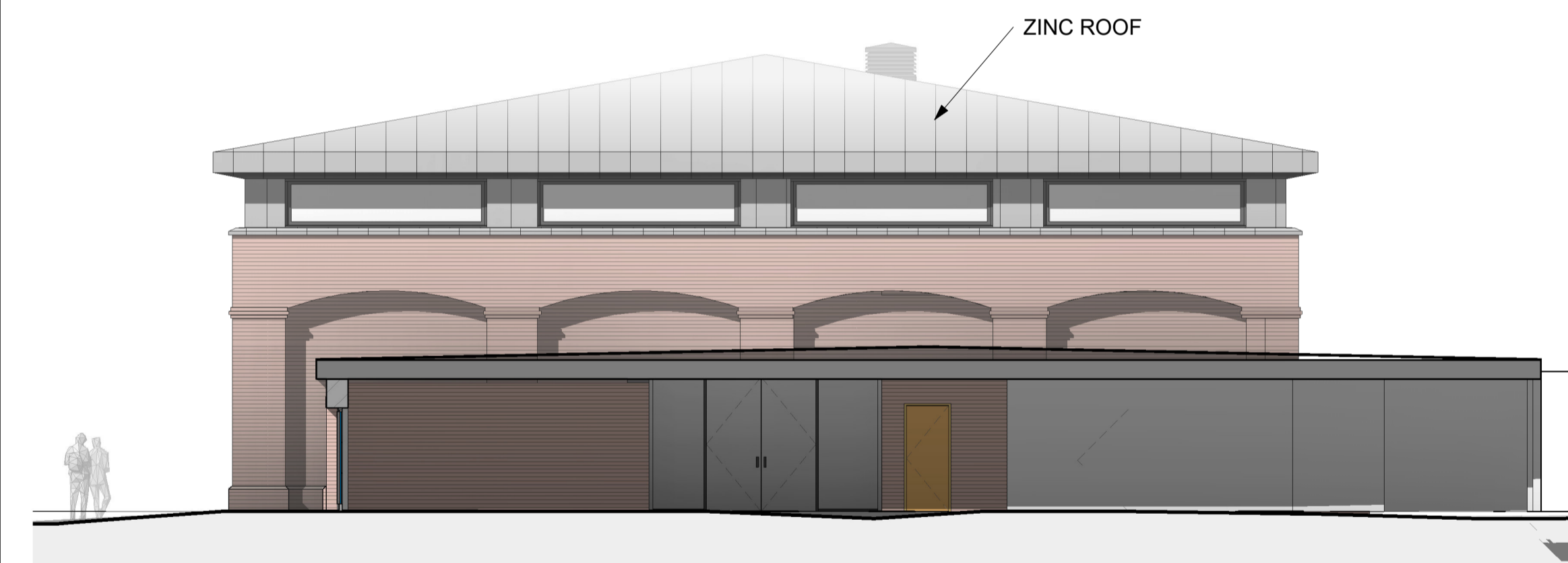
South Elevation of sports hall

1 : 100



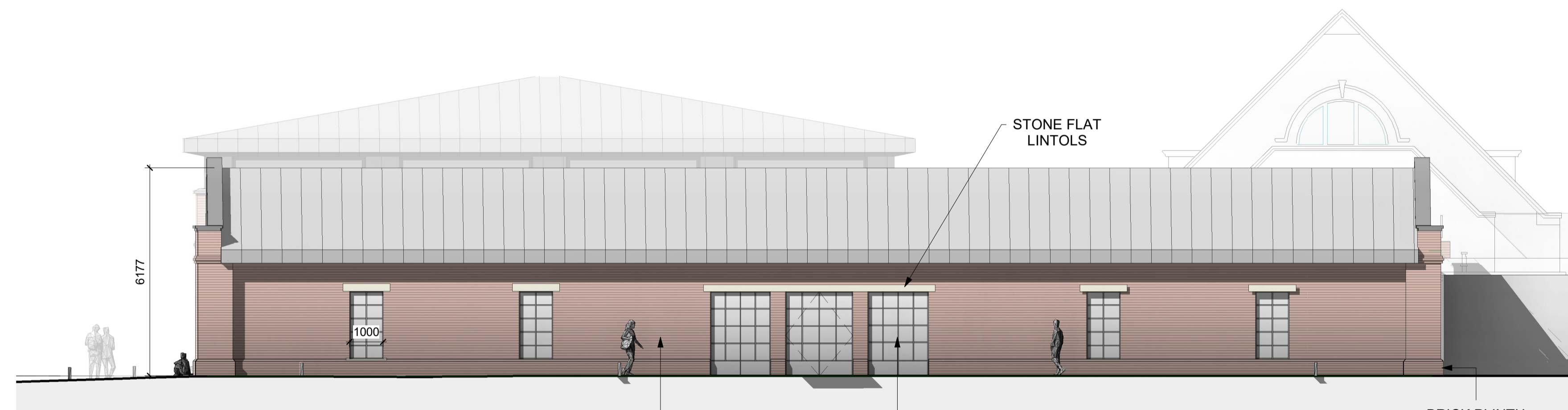
Sectional south elevation of pool building

1 : 100



Sectional north elevation of sports hall

1 : 100



North elevation of pool building

1 : 100



West elevation of pool building and existing gymnasium

1 : 100

1:100 scale Bar
This Drawing has been produced for printing onto A1 size paper

F	Windows revised. Piers removed. Roof	20/02/23
REV	revised	DATE

STL **SHAUN TANNER**
ARCHITECTURE & PLANNING

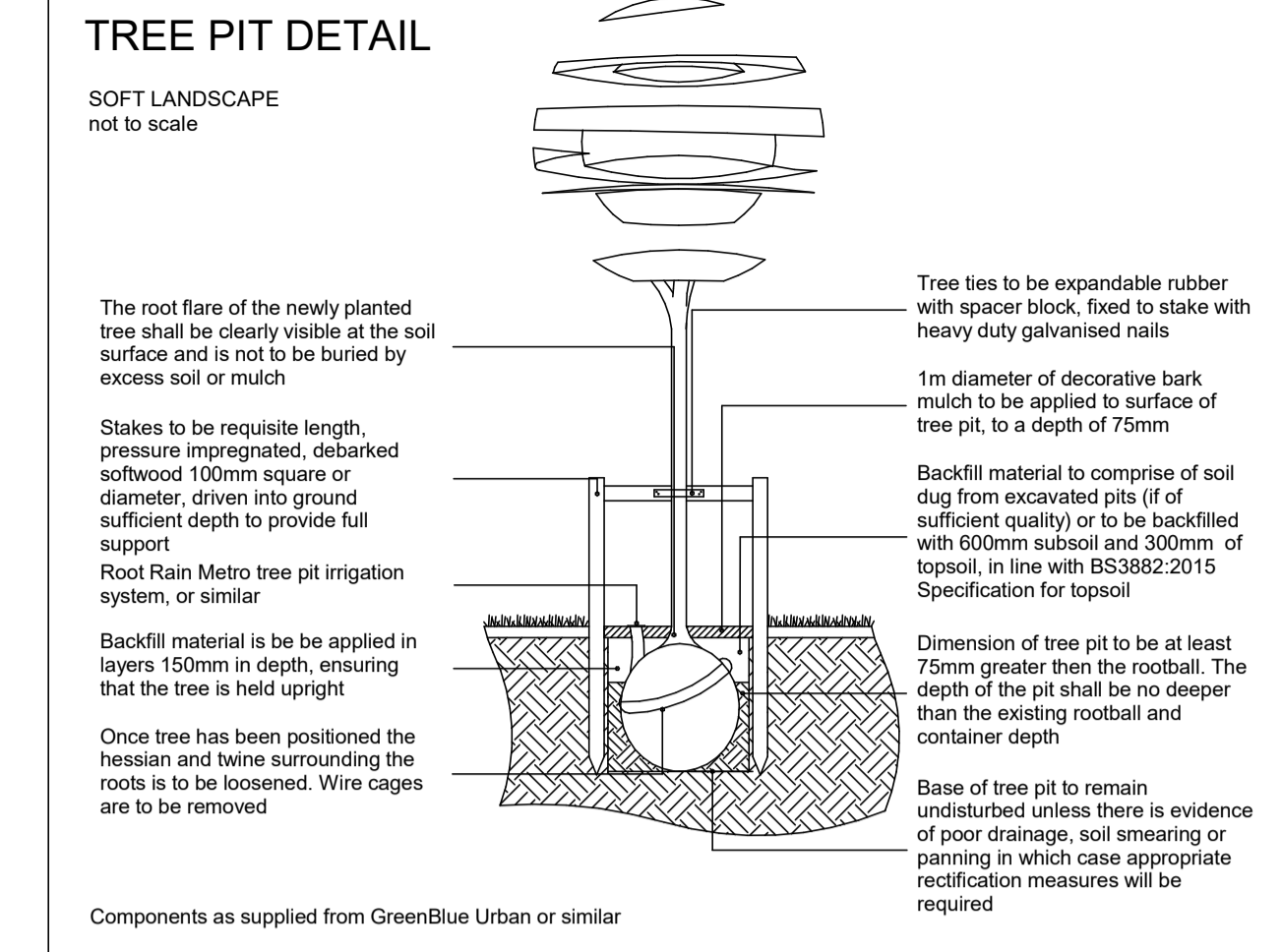
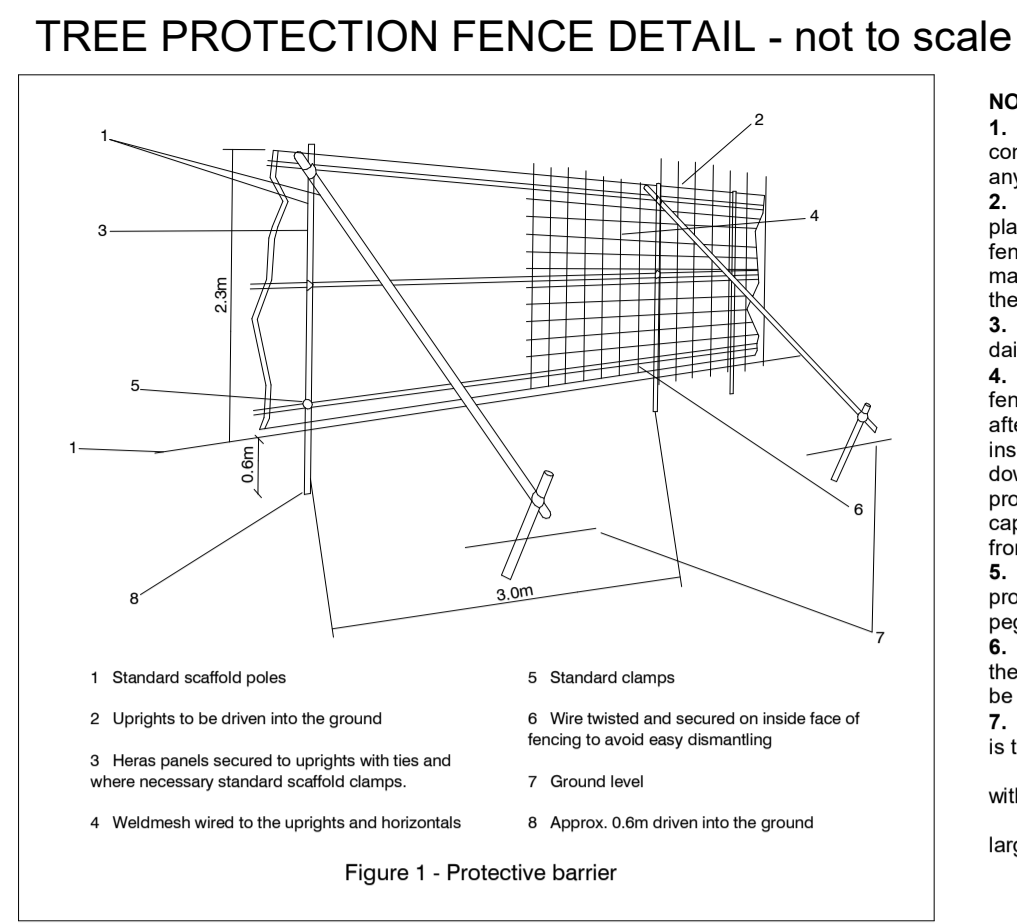
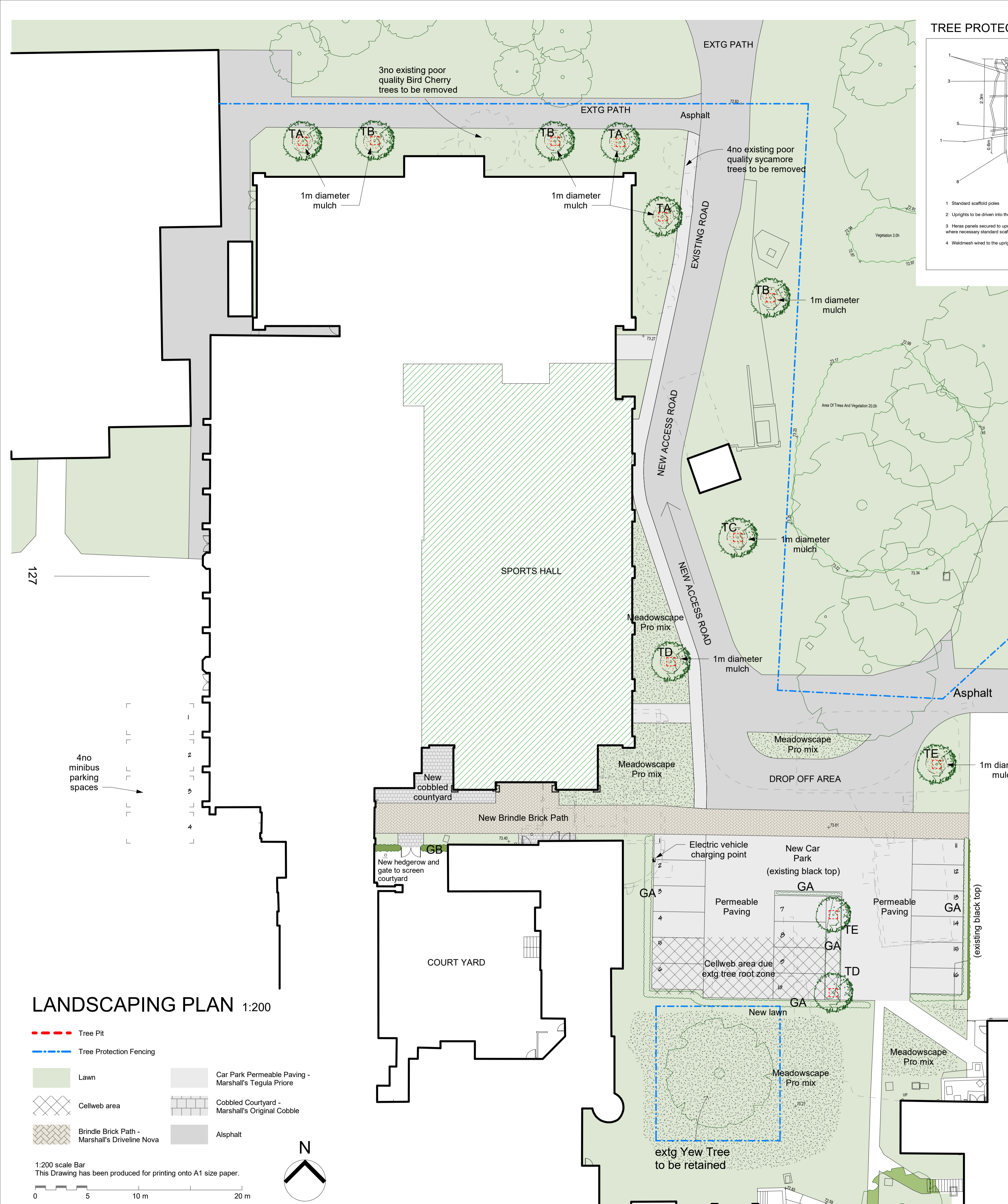
www.stlarchitecture.co.uk studio@stlarchitecture.co.uk 0118 989 0808

CLIENT Reddam House (Berkshire) Ltd
PROJECT New Sports Hall at Reddam House
Bearwood Rd, Sindlesham, Wokingham RG41 5BG

DRAWING Proposed Elevations
STATUS Planning
SCALE 1 : 100
DRAWN RC
CHECKED
NO 3807/204
REV F
DATE Aug 2021

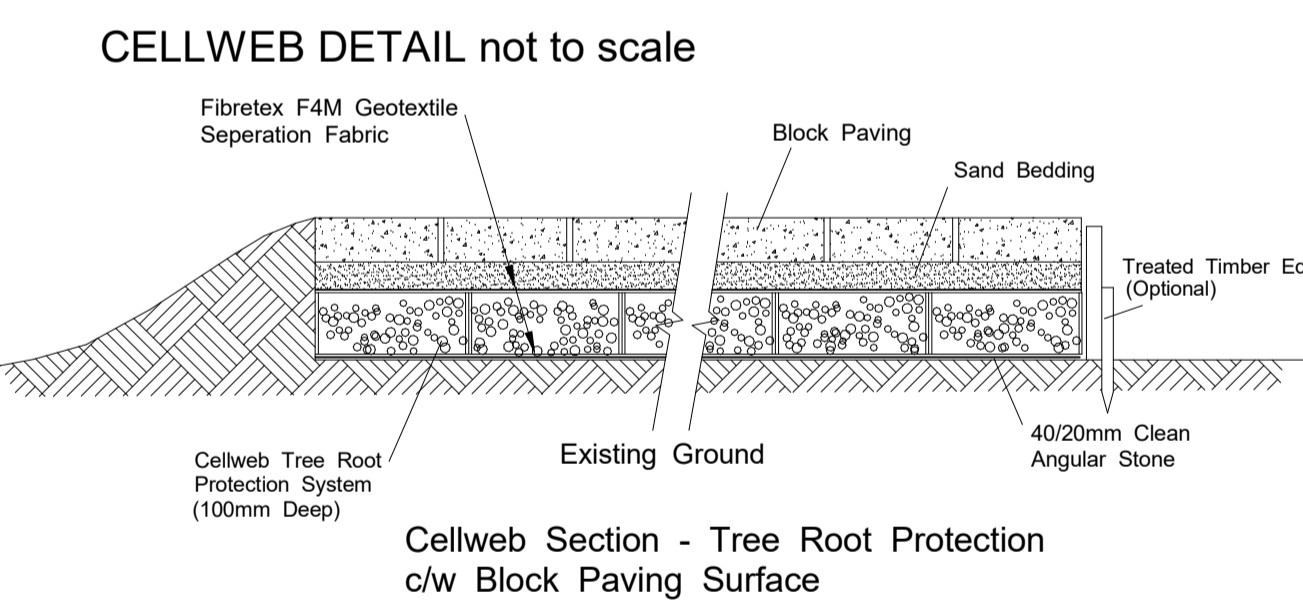
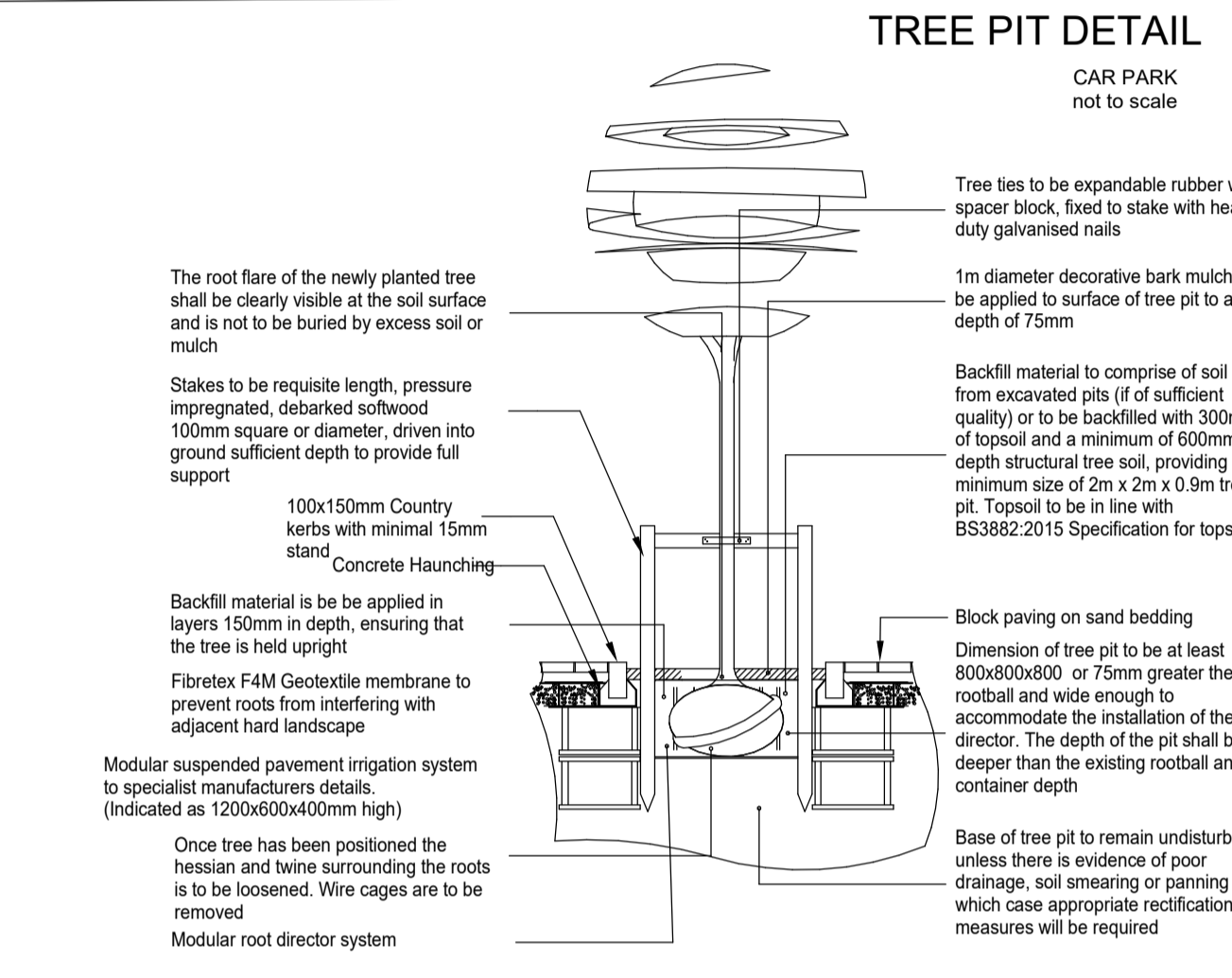
THIS DRAWING MUST NOT BE SCALED UNLESS ISSUED FOR PLANNING PURPOSES. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO SETTING OUT, COMMENCING WORK, OR PRODUCTION OF FABRICATION DRAWINGS. REPORT ANY DISCREPANCIES TO THE SUPERVISING OFFICER IMMEDIATELY. ©

This page is intentionally left blank



LANDSCAPING SPECIFICATION

- 1.0 Ground Preparation and Soil Specification**
- 1.1 Subsoil:**
Subsoil shall meet the BS6601:2013 Specification for subsoil and requirement for use.
Subsoil shall be spread to a minimum of 250mm below new grass and shrub areas. Tree pits to be constructed as described in section 3.0 'Plant and Planting Specification'.
Subsoil to be spread by using a back-acting track vehicle to cause minimum compaction and loss of soil structure. No soil handling shall be undertaken when the soil is wetter than the plastic limit.
- 1.2 Topsoil:**
Imported topsoil shall be General Purpose Grade as described in Table 1, Topsoil Characteristics of BS 3882: 2015 Specification for Topsoil. Soil shall be stored in heaps not exceeding 1.5 metres high. Heaps shall be graded to shed water and avoid ponding, maintained in a weed-free condition and protected from contamination or trespass by heavy machinery.
Topsoil shall be lightly consolidated in layers not exceeding 150mm using track laying machinery. Works shall not be undertaken in periods of wet weather.
Topsoil shall be laid to the following minimum depths:
150mm below new grass areas
400mm beneath new tree and shrub areas
- Finished levels, after settlement, shall be as follows:
25mm above adjacent paving from new grass areas and non-mulched shrub beds
75mm below adjacent paving and grass for mulched planting beds
150mm below damp proof courses
- 1.3 Ground conditioning:**
40 litres of compost to be incorporated into the top 200mm of each square metre of topsoil.
- 2.0 Plant and Planting Specification**
- 2.1 British Standard Specification**
All plant stock, plant handling and planting to be undertaken in accordance with the following British Standard Specifications and Codes of Practice:
BS 3936: 1992 Part 1 Nursery Stock, Specification for Trees and Shrubs
BS 3936: 1990 Part 10 Nursery Stock, Ground cover Plants
BS 4428: 1989 Code of practice for general landscaping operations
BS 5837: 2012 trees in relation to design, demolition and construction.
The Code of Practice for Plant Handling 1985. (Horticultural Trades Association).
- 2.2 Plant Stock:**
Plant stock to be supplied in accordance with the size and description specified on this drawing.
Plant stock shall be healthy, vigorous, free from pests and diseases and suitably hardened off for the purpose of planting and lifted at a time in accordance with good nursery practice. Stock shall have a well formed fibrous root system and be free from perennial weeds. The form of trees shall be in accordance with BS 3936: Part 1:1992, section 7, Form of Trees.
- 2.3 Plant Handling:**
All plant materials shall be lifted, bundled, labelled, packaged, transported, temporarily stored and planted in accordance with the procedures and methods illustrated in the publication 'Plant Handling' (Horticultural Trades Association) and relevant sections of BS 4043: 1989 Transplanting Root-Balled Trees.
- 2.4 Shrub Planting:**
All bare root stock shall be planted between November and April. Plants shall be delivered to site in quantities which can be planted the same day. No plant roots shall be allowed to dry out.
- 1, 2 & 3L pot grown shrubs shall be planted in pits 350x350x350mm and back-filled gently.
7 & 15L stock to be planted in prepared pits 500x500x500mm.
- Plant stock shall be watered in same day with 5 litres per plant.
- Standard tree planting**
Pits to be prepared to 800x800x800mm. Base and sides of pit to be further scarified.
Selected standard trees to be single staked, driven into ground 300mm below bottom of pit. Base of pit to be filled with 200mm of 3:1 mix of approved topsoil/compost.
Trees to be centrally located and stem placed in an upright position. Pit to be back-filled with a 3:1 mix of an approved topsoil/compost. Backfill firmly to 50mm above previous ground level to allow for settlement.
Saw stakes to leave 600mm above soil level. Fix adjustable tree ties to each stake, to include rubber spacer. Water in same day with 36 litres per tree.
- All works shall be carried out to the minimum standard according to BS 3939: 1980 Nursery Stock, Specification for Trees and Shrubs and BS 5236: 1975 Recommendations for the cultivation and planting of trees in the advanced nursery stock category. Planting of Root-Balled Trees section 3.1 and section 3.2.3-3.2.5
- 2.6 Mulch:**
All shrub beds shall be spread with a medium grade bark mulch to a settled depth of 75mm.
1m diameter of decorative bark mulch to be applied to surface of tree pit to a depth of 75mm.
Mulch to be free form fines, weeds, disease and contaminants.
- 2.7 Grass Seeding:**
Seed mix shall be: British Seed Houses Grade A19 mix or similar approved.
Topsoil shall be cultivated to a fine tilth, be free from weeds, stones and other debris. Levels to be graded to form finished levels as indicated in section 'Topsoil'.
Roll, fertilise at 50g/sqm, 10-14 days prior to seeding, sow at rate of 25-35g/m² and lightly rake. First cut to be undertaken when grass reaches 50mm.
- 2.8 Turfed Areas:**
To be supplied and laid in accordance with BS 3936: 1990 recommendations for turf for general purposes.
- 3.0 Maintenance and Management**
- 3.1 Responsibility:**
The maintenance of areas within the grounds shall be the responsibility of the property owner.
- Regular Visits:**
Monthly maintenance visits to include the following operations:
 - Hand weed planting beds
 - Top up mulch to 100mm depth as necessary
 - Remove litter
 - Sweep mulch spillage
 - Re-firm plant stock as necessary
 - Adjust stakes and ties as necessary (max every 12 months) and remove the stakes and ties 2-3 years after planting
 - Prune plant stock as required to encourage good form
 - Check all plant stock and report signs of pests, disease, death and damage
 - All beds to incorporate slow release non-bulky organic fertiliser to aid plant establishment
- Watering:**
Plant stock to receive the following quantities of water:
Heavy Standard trees: 36 litres each month between April and September
Shrubs and transplants: 5 litre/plant on three occasions throughout growing season
Watering to be undertaken during the first 24 months.
- Grass cutting:**
Grass shall be cut throughout the growing season to maintain a sward of 38mm. Grass shall be edged and clippings removed and watered as necessary.
- Plant replacements:**
All dead, dying and vandalised plant stock shall be replaced at the end of each growing season throughout the maintenance period.



PLANTING SCHEDULE

REF	No.	SPECIES	ENGLISH NAME
GA		Fagus sylvatica at 1.2m high staggered rows at 400mm centres	Beech
GB		Taxus baccata hedging at 1.2m high single row at 400mm centres	Yew
TA	x3	Crataegus monogyna - 10-12cm girth, 3.5-4.5m tall, 45L pot	Hawthorn
TB	x3	Prunus cerasus - 1.2-1.5m tall, 9L pot	Cherry
TC	x1	Carpinus betulus - 10-12cm girth, 3-3.5m tall, 45L pot	Hornbeam
TD	x2	Betula pendula - 10-12cm girth, 3.5-4.5m tall, 45L pot	Silver Birch
TE	x2	Taxus baccata - 1.4-1.6m tall, 40L pot	Yew

F Tree pit revised. Meadow mix indicated. Pit sizes revised. 20/02/23
REV DATE

LANDSCAPING PLAN 1:200

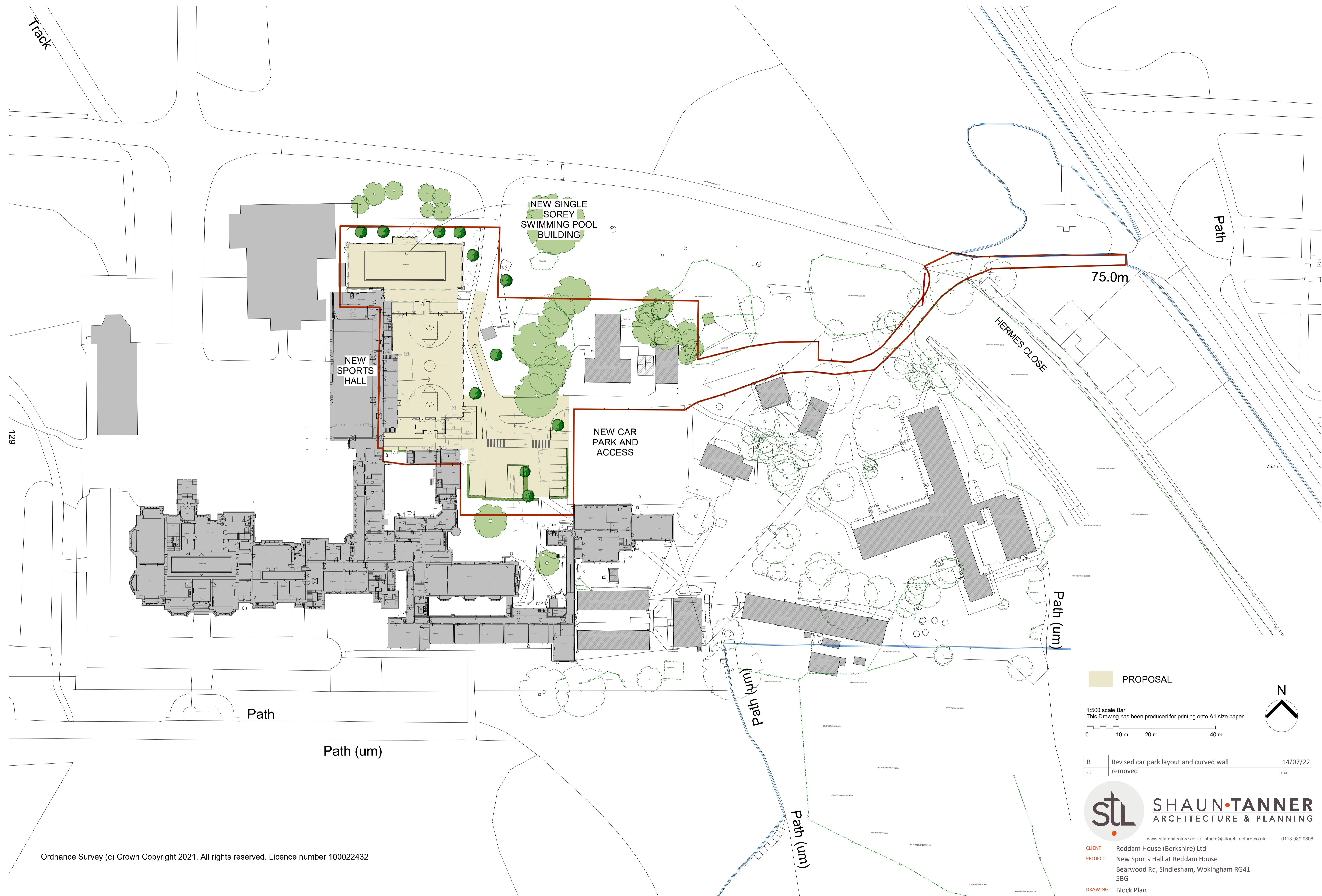
- Tree Pit
 - Tree Protection Fencing
 - Lawn
 - Car Park Permeable Paving - Marshall's Tegula Priora
 - Cellweb area
 - Cobbled Courtyard - Marshall's Original Cobble
 - Brindle Brick Path - Marshall's Driveline Nova
 - Asphalt
- 1:200 scale Bar
This Drawing has been produced for printing onto A1 size paper.



CLIENT Reddam House (Berkshire) Ltd
PROJECT New Sports Hall at Reddam House
Bearwood Rd, Sindlesham, Wokingham RG41 5BG
DRAWING Landscape Plan
STATUS Planning
SCALE As indicated DRAWN RC CHECKED NO 3807/209 REV F
DATE Aug 2021

THIS DRAWING MUST NOT BE SCALE UNLESS ISSUED FOR PLANNING PURPOSES. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO SETTING OUT. COMMENTING WORK OR PRODUCTION OF FABRICATION DRAWINGS REPORT ANY DISCREPANCIES TO THE SUPERVISING OFFICER IMMEDIATELY. ©

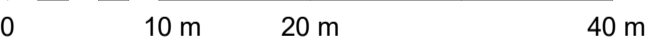
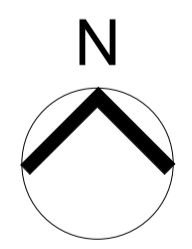
This page is intentionally left blank



129

 PROPOSAL

1:500 scale Bar
 This Drawing has been produced for printing onto A1 size paper

B	Revised car park layout and curved wall	14/07/22
REV	removed	DATE

 **SHAUN TANNER**
 ARCHITECTURE & PLANNING

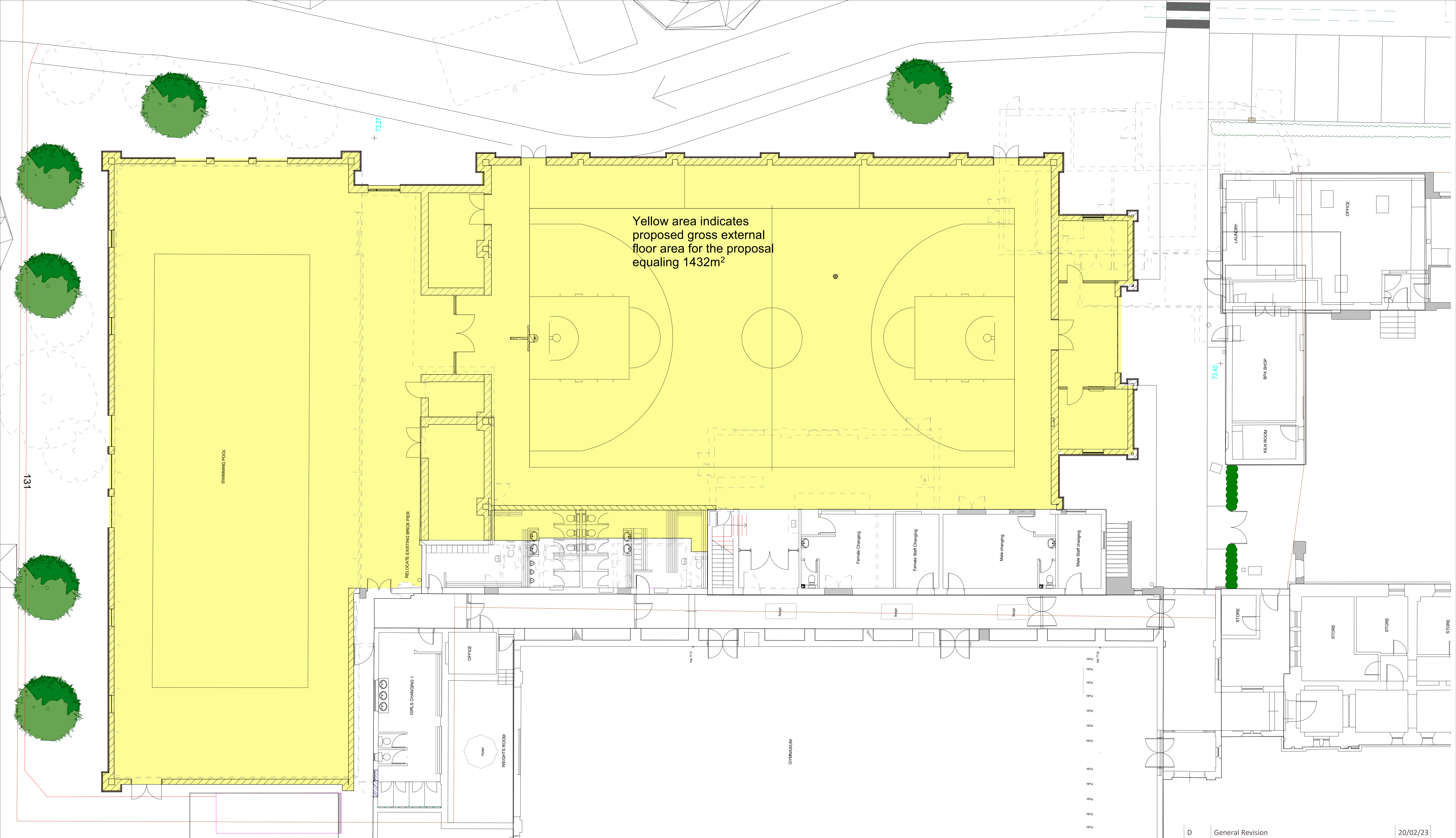
www.stlarchitecture.co.uk studio@stlarchitecture.co.uk 0118 989 0808

CLIENT Reddam House (Berkshire) Ltd
PROJECT New Sports Hall at Reddam House
 Bearwood Rd, Sindlesham, Wokingham RG41 5BG
DRAWING Block Plan
STATUS Planning
SCALE 1 : 500
DRAWN RC **CHECKED** NO 3807/212 **REV** B
DATE Aug 2021

Ordnance Survey (c) Crown Copyright 2021. All rights reserved. Licence number 100022432

THIS DRAWING MUST NOT BE SCALED UNLESS ISSUED FOR PLANNING PURPOSES. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO SETTING OUT, COMMENCING WORK, OR PRODUCTION OF FABRICATION DRAWINGS. REPORT ANY DISCREPANCIES TO THE SUPERVISING OFFICER IMMEDIATELY. ©

This page is intentionally left blank



Yellow area indicates proposed gross external floor area for the proposal equaling 1432m²

REV	COMMENTS	DATE
D	General Revision	20/02/23

STL SHAUN TANNER ARCHITECTURE & PLANNING
 www.stlarchitecture.co.uk studio@stlarchitecture.co.uk 0118 989 0808

CLIENT Reddam House (Berkshire) Ltd
 PROJECT New Sports Hall at Reddam House
 Bearwood Rd, Sindlesham, Wokingham RG41 5BG
 DRAWING New build area plan
 STATUS Planning
 SCALE 1 : 100 DRAWN Author HECKED NO 3807/216 REV D
 DATE Aug 2021

THIS DRAWING MUST NOT BE SCALED UNLESS ISSUED FOR PLANNING PURPOSES. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO SETTING OUT, COMMENCING WORK, OR PRODUCTION OF FABRICATION DRAWINGS. REPORT ANY DISCREPANCIES TO THE SUPERVISING OFFICER IMMEDIATELY. ©

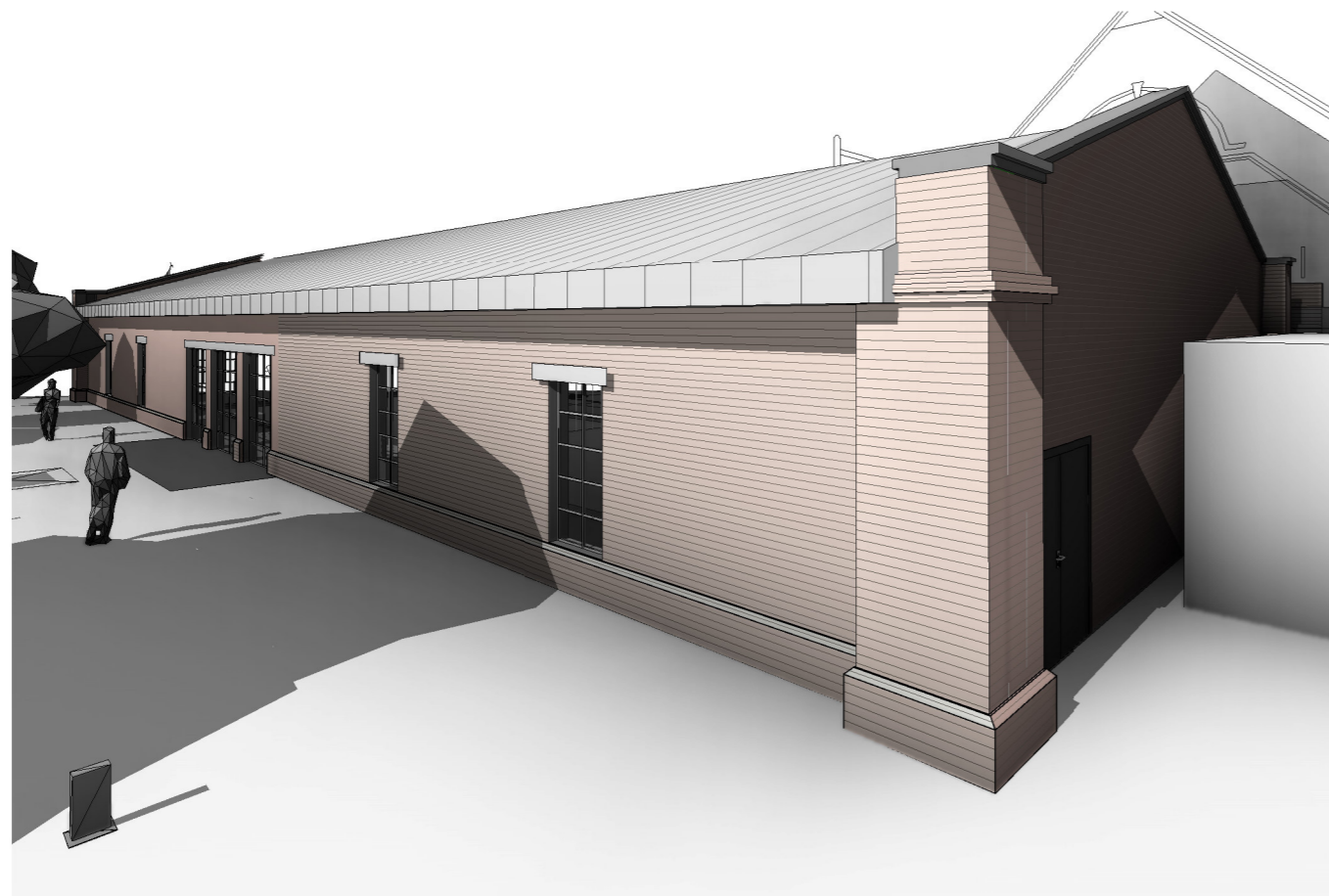
This page is intentionally left blank



View of Historical Columns



View of new entrance



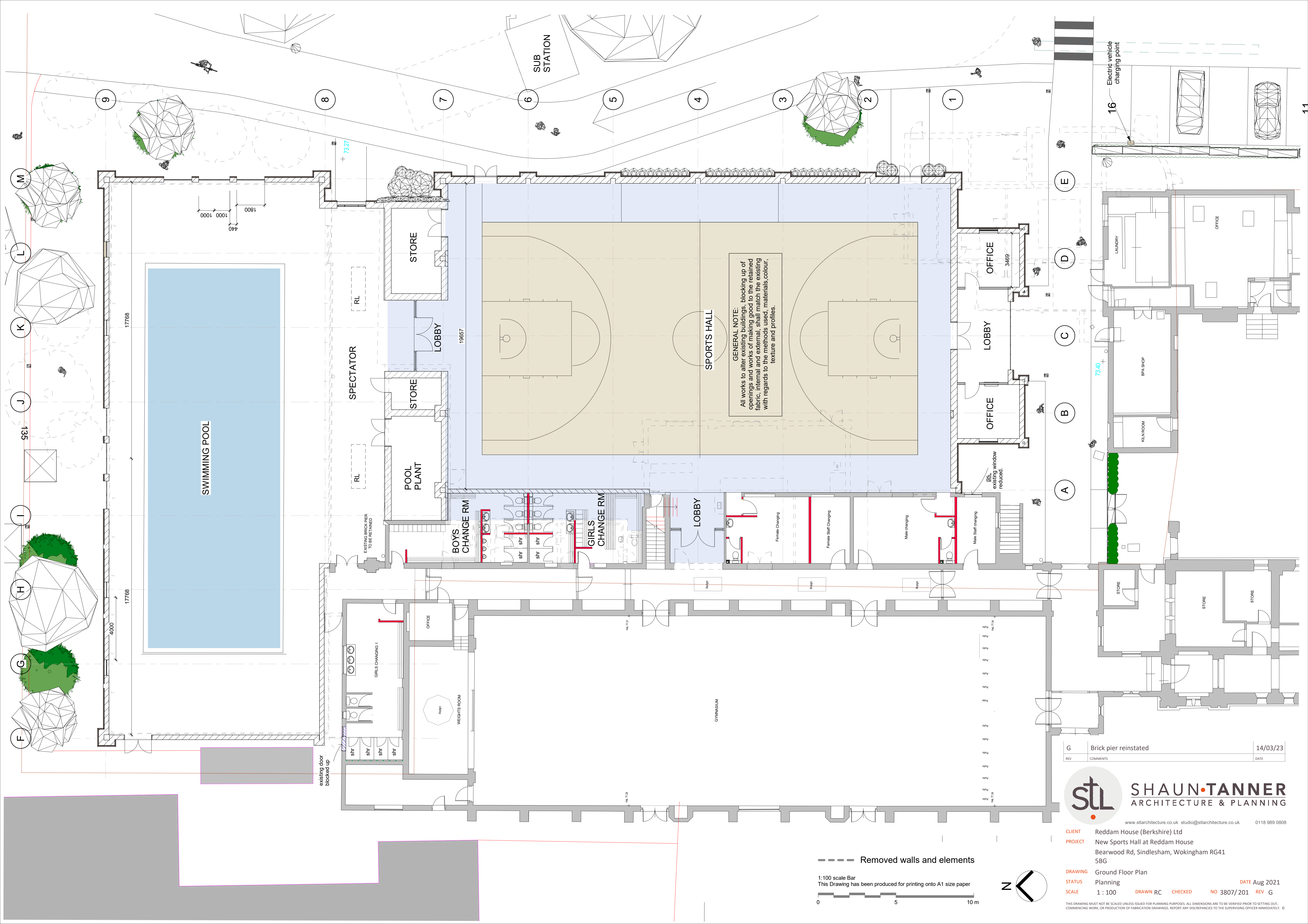
View Pool Building

B	Windows revised. Piers removed. Roof revised	20/02/23
REV	COMMENTS	DATE


SHAUN-TANNER
 ARCHITECTURE & PLANNING
www.starchitecture.co.uk studio@starchitecture.co.uk 0118 989 0808

CLIENT Reddam House (Berkshire) Ltd
PROJECT New Sports Hall at Reddam House
 Bearwood Rd, Sindlesham, Wokingham RG41 5BG
DRAWING 3D Views
STATUS Planning **DATE** Aug 2021
SCALE DRAWN Pari CHECKED NO 3807/217 REV B
THIS DRAWING MUST NOT BE SCALED UNLESS ISSUED FOR PLANNING PURPOSES. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO SETTING OUT. COMMENCING WORK, OR PRODUCTION OF FABRICATION DRAWINGS, REPORT ANY DISCREPANCIES TO THE SUPERVISING OFFICER IMMEDIATELY. ©

This page is intentionally left blank



GENERAL NOTE:
 All works to alter existing buildings, blocking up of openings and works of making good to the retained fabric, internal and external, shall match the existing with regards to the methods used, materials colour, texture and profiles.

G	Brick pier reinstated	14/03/23
REV	COMMENTS	DATE

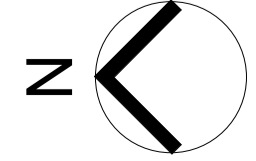
stl **SHAUN TANNER**
 ARCHITECTURE & PLANNING

www.stlarchitecture.co.uk studio@stlarchitecture.co.uk 0118 989 0808

CLIENT Reddam House (Berkshire) Ltd
PROJECT New Sports Hall at Reddam House
 Bearwood Rd, Sindlesham, Wokingham RG41 5BG
DRAWING Ground Floor Plan
STATUS Planning
SCALE 1 : 100 **DRAWN** RC **CHECKED** NO 3807/201 **REV** G
DATE Aug 2021

--- Removed walls and elements

1:100 scale Bar
 This Drawing has been produced for printing onto A1 size paper



THIS DRAWING MUST NOT BE SCALED UNLESS ISSUED FOR PLANNING PURPOSES. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO SETTING OUT, COMMENCING WORK, OR PRODUCTION OF FABRICATION DRAWINGS. REPORT ANY DISCREPANCIES TO THE SUPERVISING OFFICER IMMEDIATELY. ©

This page is intentionally left blank

Agenda Item 107.

Application Number	Expiry Date	Parish	Ward
222319	21 April 2023	Arborfield Newland	and Arborfield

Applicant	Mr Antonio Neto
Site Address	Reddam House, Bearwood Road, Sindlesham, Wokingham, RG41 5BG
Proposal	Application for listed building consent for the proposed erection of a sports hall and new pool building following demolition of existing ancillary buildings. Creation of new landscaped permeable parking area on the site of an existing car park.
Type	Listed Building Consent
Officer	Brian Conlon
Reason for determination by committee	Major application

FOR CONSIDERATION BY	Planning Committee on Wednesday 12 th April 2023
REPORT PREPARED BY	Assistant Director – Place

SUMMARY
<p>The proposed development relates to the provision of improved sports facilities and car parking arrangements on the site of Reddam School, a co-educational, independent school for children from the age of 3 years to 18 years which is a Grade II* listed building. However, the proposals do not impact or affect the historic core of the building but rather to C20th additions. The proposal is not located in flood zone.</p> <p>Amendments were made during the application to add new brick piers between the Lobby Building and Laundry Building, the double doors leading out of Sports Hall redesigned to be glass panels rather than solid doors and the roof over the Lobby and Offices has been revised to a hipped roof. Further, amendments were requested to the landscaping plans to revise the car park tree pit details, trees were moved to line up with the hedge, tree pit sizes increased to accommodate the rooting system of the trees and low growing meadow mix indicated on the lawns. The amendments addressed the concerns raised by internal consultations and no further objections have been received to these amended plans.</p> <p>A pre-application was received on 17th February 2022 which accepted the principle of the proposal subject to addressing consultee comments which have been included as part of the proposal.</p> <p>Subject to the conditions recommended by the Council’s Built Heritage Officer and Landscape and Trees Officer, the proposed development would not cause harm to the significance of the heritage asset or the conservation area. As such, conditional approval is recommended.</p>

RECOMMENDATION
That the committee authorise the GRANT OF LISTED BUILDING CONSENT subject to conditions

PLANNING STATUS
<ul style="list-style-type: none"> • Grade II* Listed building • Situated within Bearwood Park, a Grade II* Listed Historic Park and Garden. • Sindlesham Conservation Area • Countryside • Thames Basin Heaths Special Protection Area

RELEVANT PLANNING HISTORY		
Application Number	Proposal	Decision
153230	Application for advertisement consent for nonilluminated signage and flag posts. (Retrospective)	Approved 20/04/2017
202577	Application for Listed Building consent for the proposed removal of an internal wall on the second floor to open up the original corridor and archway, and internal alterations.	Approved 24/11/2020
212872	Application for the Listed Building consent for the proposed of the removal of internal walls and removal of toilets, building of new internal walls, plus existing plumbing to be extended out of the building and a new soil pipe to extend through existing external brick wall plus replacement casement windows and additional high level internal windows.	Approved 15/10/2021

SUMMARY INFORMATION	
Site Area	0.7ha
Existing parking spaces	100
Proposed parking spaces	116

CONSULTATION RESPONSES	
WBC Built Heritage Officer	Recommend conditional approval
WBC Landscape Officer	Recommend conditional approval
WBC Ecologist	No observations made
WBC Drainage	Recommend conditional approval
Historic England	No objection
Berkshire Gardens Trust	No objection
Natural England	No objection

REPRESENTATIONS

Town/Parish Council:

Winnersh Parish Council raised no observations.

Local Members: No comments

Neighbours: None received.

PLANNING POLICY		
National Policy	NPPF	National Planning Policy Framework
	NPPG	National Planning Practice Guidance
	NDG	National Design Guide
Adopted Core Strategy DPD 2010	CP1	Sustainable Development
	CP3	General Principles for Development
	CP9	Scale and Location of Development Proposals
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC03	Green Infrastructure, Trees and Landscaping
	CC04	Sustainable Design and Construction
	TB21	Landscape Character
	TB23	Biodiversity and Development
	TB24	Designated Heritage Assets
Arborfield and Barkham Neighbourhood Plan (April 2020)	IRS4	Protection and enhancement of the historic character of the area.
	AD3	High quality development with generous open space, properly landscaped.
Supplementary Planning Documents (SPD) / other		Borough Design Guide

PLANNING ISSUES
<p>Site Description</p> <ol style="list-style-type: none"> 1. The proposal site is located within the grounds of Reddam House School, Sindlesham, formerly known as Bearwood College. The wider site is a registered park and garden and has a number of Listed Buildings within its grounds, it also forms part of the Sindlesham Conservation Area. 2. The Reddam estate is bound to the east and west by Bearwood Road and Mole Road respectively and to the south by Bearwood Lake and a Golf Course. <p>Description of Development</p> <ol style="list-style-type: none"> 3. The application proposes a new sports hall, replacement swimming pool exterior building and demolition of 3 ancillary single storey buildings plus a low boundary wall. The new sports hall would be built abutting the plant room and existing buildings. The changing rooms would be extended and a new viewing gallery on the first floor overlooking the sports hall. The existing swimming pool is to be

retained with a new building to be built over the pool to replace the existing building.

4. The proposal also seeks to deliver a new car park with 16 parking spaces (and electrical charging points) in the location of a current single storey brick building (adjacent to a mature Yew tree). The car park is proposed to be landscaped with new trees and a surrounding hedge. The proposal also seeks to improve permeability through the site by providing a landscaped walkway connecting the main entrance parking area to the accommodation blocks to the east.

Principle of Development

5. This application specifically seeks Listed building consent. Listed building consent is required for all works of demolition, alteration or extension to a listed building that affect its character as a building of special architectural or historic interest. The principal acceptability of the current proposals will depend upon their impact on the listed building, which is considered below.

Impact on the Listed Building

6. There is a duty imposed by Section 66 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requiring decision makers to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
7. The National Planning Policy Framework (NPPF) sets out the Government's policy with regards to the Historic Environment. It makes clear that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation, and that the more important the asset the greater the weight should be (paragraph 199).
8. The NPPF requires that all harm to heritage significance should be avoided where possible or minimised, and that any remaining harm has clear and convincing justification (paragraphs 195 and 200). Harm to the significance of a designated heritage asset should then be weighed against the public benefits of a proposal in the manner set out in paragraph 202.
9. MDD policy TB24 sets out that the Borough Council will conserve and seek the enhancement of designated heritage assets in the Borough and their settings by requiring works to or affecting heritage assets or their setting to demonstrate that the proposals would at least conserve and, where possible enhance the important character and special architectural or historic interest of the building, Conservation Area, or park and garden including its setting and views.
10. A Heritage Assessment by Wessex Archaeology has been submitted with this application which discusses the significance of the heritage assets and the impact of the proposal upon them. This concludes that the proposal would not affect any historic fabric and the works are concentrated solely in the setting of the Listed Buildings. There are a number of disused and dilapidated out-buildings which are to be replaced or externally renovated to improve the character of the site and setting of the Grade II* Listed building.

11. The Council's Built Heritage Officer has reviewed the submitted documents and has stated the following:

"The comments below are in response to the amended plans and schedule of materials received by the Council on 15th March. The newly submitted material being made following my comments of 14th March to the revised designs for the new gymnasium and pool buildings. The amended floor plans confirm the retention of the historic gate pier and attached section of boundary wall in their present location and their incorporation within the new buildings. To ensure the protection (during demolition and construction phases) and appropriate manner for retaining in the historic gate pier and section of walling further details would be necessary, which could be dealt with by means of condition if the applications are to be approved.

In terms of the provided schedule of materials for the exterior components of the new buildings, the intended materials appear to be suitable given the context of the historically important Reddam House and its associated historic structures.

In again reviewing the plans for the proposed new gymnasium and pool buildings with respect to the roof and elevation plans it is not at all clear, given the roof forms, especially that of the gymnasium building, as to how water runoff from the roofs is to be achieved. Given the design of these new building the possible need for the addition of guttering and external down pipes could prove visually detrimental. As such it is suggested that details for rainwater management of the new buildings be made the subject of a condition".

12. Overall, it is considered that the proposed development would preserve the special architectural and historic interest of the grade II* Listed Building and its setting, the Sindlesham Conservation Area and the Grade II* Listed Historic Park and Garden. Therefore, the proposal is acceptable. Any less than substantial harm caused by the proposals is considered to be outweighed by the landscape enhancements to the Listed Building's immediate environs which would support the continued long-term use of the Listed building. The proposal therefore complies with the requirements of Section 66 of the Town and Country (Listed Buildings and Conservation Areas) Act 1990 and the statutory duties of the Council in this regard have been discharged.

Landscape and Trees

13. Core Strategy Policies CP1 and CP3 require a high quality design that respects its context. This requirement is amplified by MDDL Policies CC03 and TB21 which require development proposals to protect and enhance the Borough's Green Infrastructure, retaining existing trees, hedges and other landscape features wherever possible and incorporating high quality - ideally native – planting as an integral part of any scheme.
14. The proposal results in the loss of 7 trees and as such 11 semi-mature trees will be planted as compensation. The trees proposed to be removed appear to be choked by ivy and the roots are constrained by existing built form and impermeable hardstanding. The proposed trees would benefit from root barriers to direct the roots down to ensure there is a reduced conflict. Full details of the proposed trees

and protection of retained trees is detailed within the submitted Landscape Plan. The application is supported by an Arboricultural Impact Assessment undertaken by Arbtech.

15. Natural England considers that the proposed development will not have significant adverse impacts on statutorily protected nature conservation sites or landscapes.

16. The Council's Landscape and Trees officer has advised that the revised Landscape Plan is acceptable. The Tree Protection information needs to be updated as appropriate and an Arboricultural Method Statement including Tree Protection information is required to be submitted as a condition.

CONCLUSION

17. It is considered, having regard to the points made above, and having due regard for the requirements of Section 66 and Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, that the proposals would accord with the National Planning Policy Framework, relevant Local Plan Policies and guidance. It is therefore recommended that Listed Building Consent be granted, subject to attaching relevant conditions and informatives.

The Public Sector Equality Duty (Equality Act 2010)

In determining this application, the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

APPENDIX 1

Conditions / informatives

1. Timescale

The works hereby permitted shall be begun before the expiration of three years from the date of this consent.

In pursuance of s.18 of the Town and Country Planning (Listed Building & Conservation Areas) Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. Approved details

This permission is in respect of the submitted application plans and drawings numbered 100 and 215 received by the local planning authority on 18th July 2022, 3807/202/F, 3807/204/F, 3807/205/D, 3807/209/F, 3807/211/E, 3807/212/B, 3807/214/F, 3807/216/D received by the local planning authority on 21st February 2023, 3807/203 Rev G, 3807/210 Ref E, 3807/201/Rev G and Proposed Materials Schedule received 15th March 2023 and 3807/150/C received on 29th March 2023. The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. Historic Gate Pier & Wall Section

Notwithstanding the details submitted prior to commencement of works to strip out and demolish the pool building and adjacent plant (respectively labelled number 1 and 2 on Demolition Plan, drawing 3807/150 Rev. C) until details for retaining in-situ within with the hereby approved development of the historic gate pier and attached section of former historic boundary walling have been submitted to and approved in writing by the local planning authority. Details required are to include:

- Measures to protect the gate pier and associate wall during the demolition and construction phases of the approved development
- Details, including scaled sectional drawings showing how the whole of the existing gate pier and section of original boundary walling are to be incorporated into the new development for the pool building.

Works to demolish the existing pool, plant room structures, and build the new pool building are to then be undertaken in accordance with the details as approved.

Reason: In order to safeguard the special architectural or historic interest of the building. Relevant policy: National Planning Policy Framework Section 16 (Conserving and Enhancing the Historic Environment) and Managing Development Delivery Local Plan policy TB24.

4. Matching finishes

All external works of alteration to the existing buildings, including the blocking-up of openings and works of making good to the retained fabric, shall be finished to match the adjacent work, regarding the methods used and to material, colour, texture, and profile.

Reason: In order to safeguard the special architectural or historic interest of the building. Relevant policy: National Planning Policy Framework Section 16 (Conserving and Enhancing the Historic Environment) and Managing Development Delivery Local Plan policy TB24

5. Rooflight

Notwithstanding the details submitted no works shall be undertaken to replace the roof-light to the flat roof of the two-storey corridor structure along the eastern side of the existing gymnasium building until details for the replacement roof-lights have been submitted to and approved in writing. The replacement of the roof-light shall then be undertaken in accordance with the details as approved.

Reason: In order to safeguard the special architectural or historic interest of the building. Relevant policy: National Planning Policy Framework Section 16 (Conserving and Enhancing the Historic Environment) and Managing Development Delivery Local Plan policy TB24

6. Rainwater runoff

Notwithstanding the details submitted no works shall be undertaken beyond foundation level for the hereby approved development until details for the management of rainwater runoff from the roofs of the buildings have been submitted to and approved in writing by the local planning authority. The management of rainwater from the buildings shall be undertaken in accordance with the details as approved.

Reason: To ensure that the external appearance of the building is satisfactory. Relevant policy: Core Strategy policies CP1 and CP

Informatives:

1. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF.
2. The applicant is reminded that this approval is granted subject to conditions which must be complied with prior to the development starting on site. Commencement of the development without complying with the pre-commencement requirements may be outside the terms of this permission and liable to enforcement action. The information required should be formally submitted to the Council for consideration with the relevant fee. Once the details have been approved in writing the development should be carried out only in accordance with those details. If this is not clear please contact the case officer to discuss.

APPENDIX 2

PLANNING REF : 222319
PROPERTY ADDRESS : Winnersh Community Centre
: New Road, Sindlesham, Wokingham
: RG41 5DX
SUBMITTED BY : Winnersh Parish Council
DATE SUBMITTED : 17/08/2022

COMMENTS:

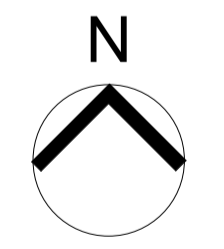
Winnersh Parish Council Planning and Transport Committee made no observations on the application.

This page is intentionally left blank



1:200 scale Bar
 This Drawing has been produced for printing onto A1 size paper.

0 5 10 m 20 m



G	Brick pier reinstated	14/03/23
REV	COMMENTS	DATE

stl **SHAUN TANNER**
 ARCHITECTURE & PLANNING

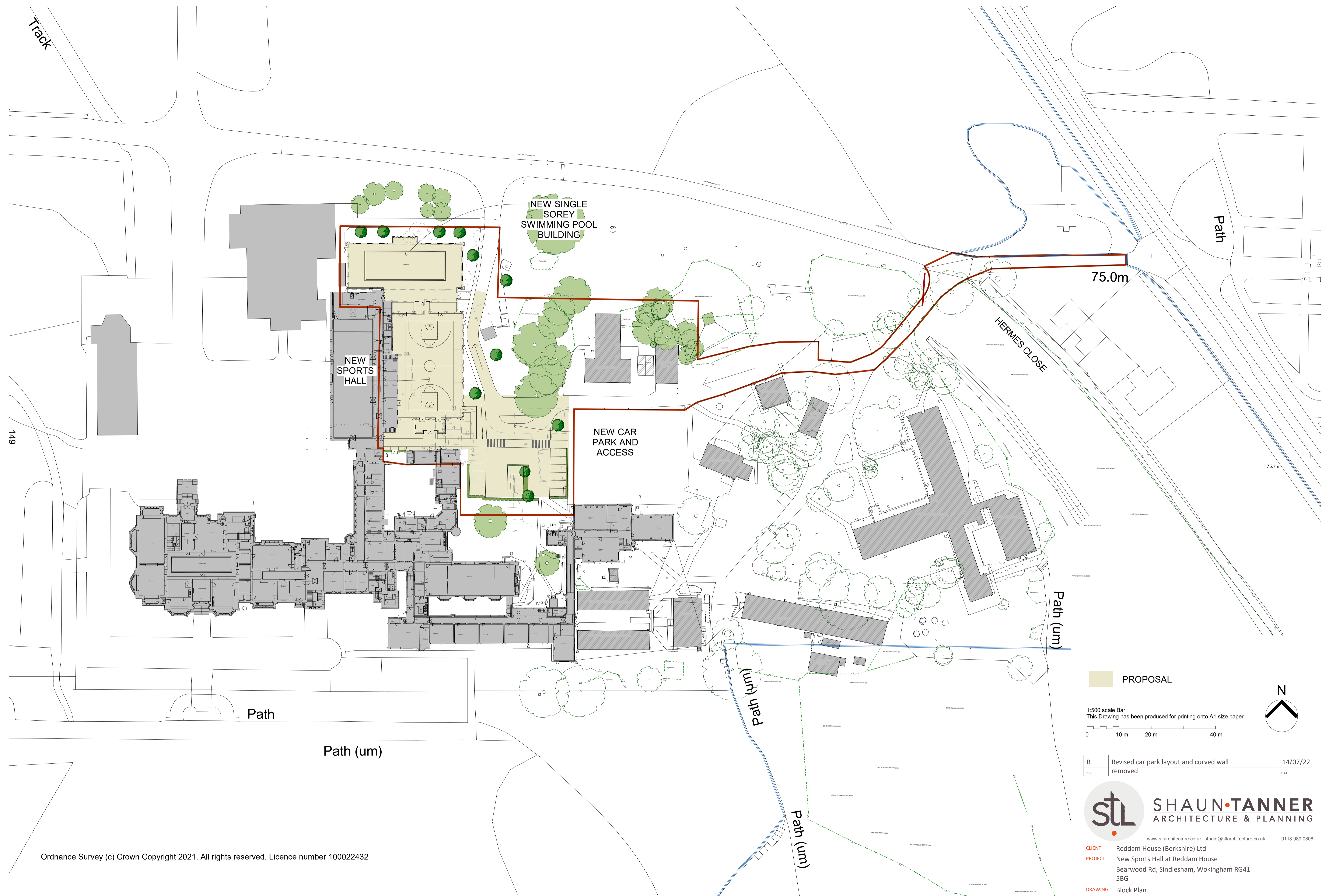
www.stlarchitecture.co.uk studio@stlarchitecture.co.uk 0118 989 0808

CLIENT Reddam House (Berkshire) Ltd
PROJECT New Sports Hall at Reddam House
 Bearwood Rd, Sindlesham, Wokingham RG41 5BG
DRAWING Site Plan
STATUS Planning
SCALE 1 : 200
DRAWN RC **CHECKED** NO 3807/203 **REV** G

DATE Aug 2021

THIS DRAWING MUST NOT BE SCALED UNLESS ISSUED FOR PLANNING PURPOSES. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO SETTING OUT, COMMENCING WORK, OR PRODUCTION OF FABRICATION DRAWINGS. REPORT ANY DISCREPANCIES TO THE SUPERVISING OFFICER IMMEDIATELY. ©

This page is intentionally left blank



149

Ordnance Survey (c) Crown Copyright 2021. All rights reserved. Licence number 100022432

PROPOSAL

1:500 scale Bar
This Drawing has been produced for printing onto A1 size paper

0 10m 20m 40m

B	Revised car park layout and curved wall	14/07/22
REV	removed	DATE

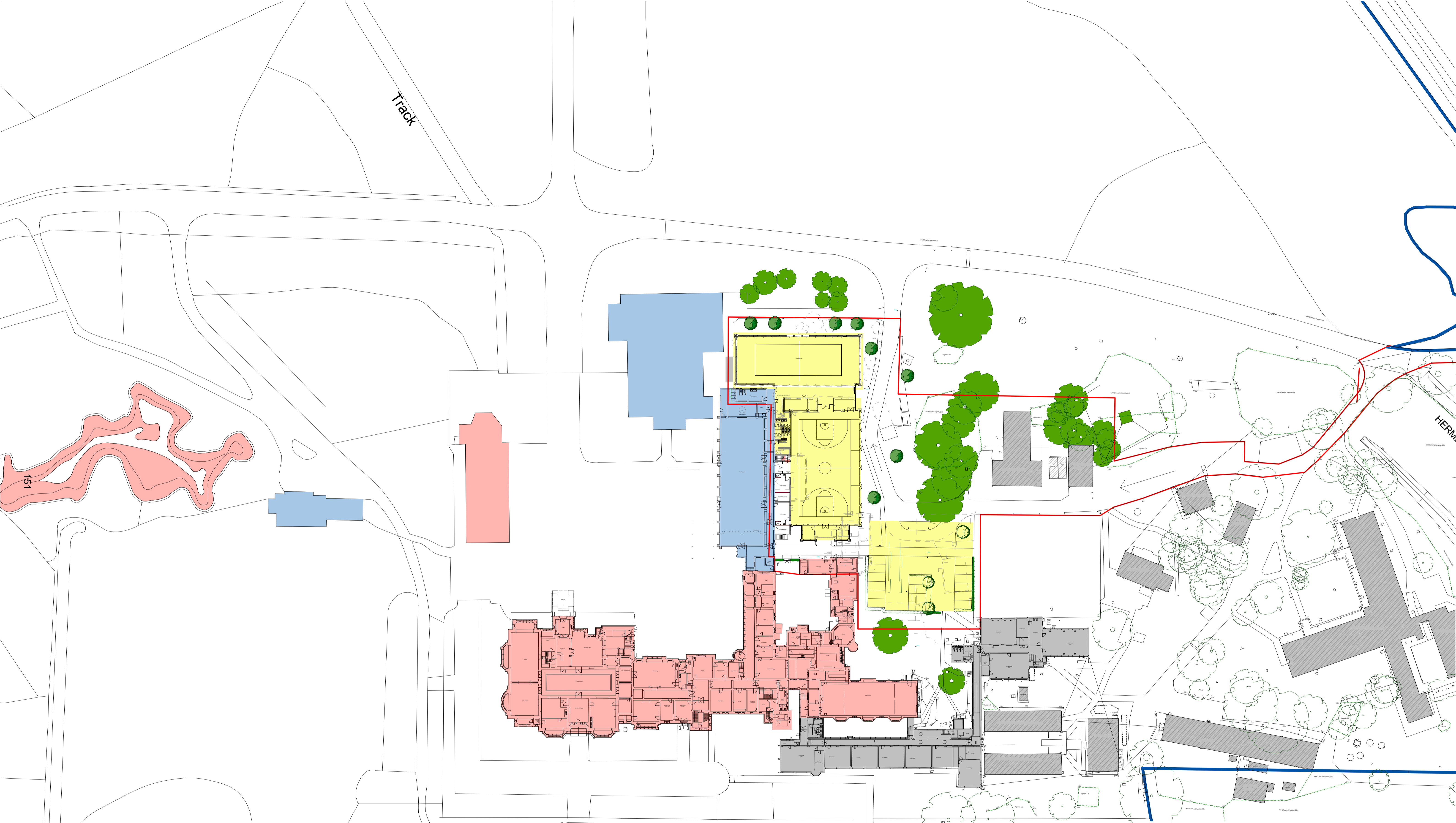
stl **SHAUN TANNER**
ARCHITECTURE & PLANNING

www.stlarchitecture.co.uk studio@stlarchitecture.co.uk 0118 989 0808

CLIENT Reddam House (Berkshire) Ltd
PROJECT New Sports Hall at Reddam House
 Bearwood Rd, Sindlesham, Wokingham RG41 5BG
DRAWING Block Plan
STATUS Planning
SCALE 1 : 500
DRAWN RC **CHECKED** NO 3807/212 **REV** B
DATE Aug 2021

THIS DRAWING MUST NOT BE SCALED UNLESS ISSUED FOR PLANNING PURPOSES. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO SETTING OUT, COMMENCING WORK, OR PRODUCTION OF FABRICATION DRAWINGS. REPORT ANY DISCREPANCIES TO THE SUPERVISING OFFICER IMMEDIATELY. ©

This page is intentionally left blank



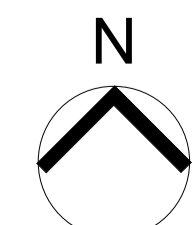
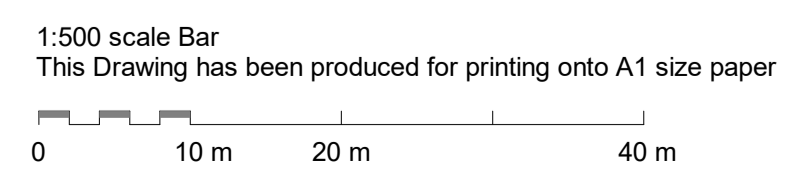
Track

151

HERM

Path

Path (um)



Key:

- Low significance
- Proposed works in low significance area
- Moderate significance
- High Significance

D	Windows revised. Piers removed. Roof	20/02/23
REV	revised	DATE

stl **SHAUN TANNER**
ARCHITECTURE & PLANNING

www.stlarchitecture.co.uk studio@stlarchitecture.co.uk 0118 989 0808

CLIENT Reddam House (Berkshire) Ltd
PROJECT New Sports Hall at Reddam House
 Bearwood Rd, Sindlesham, Wokingham RG41 5BG

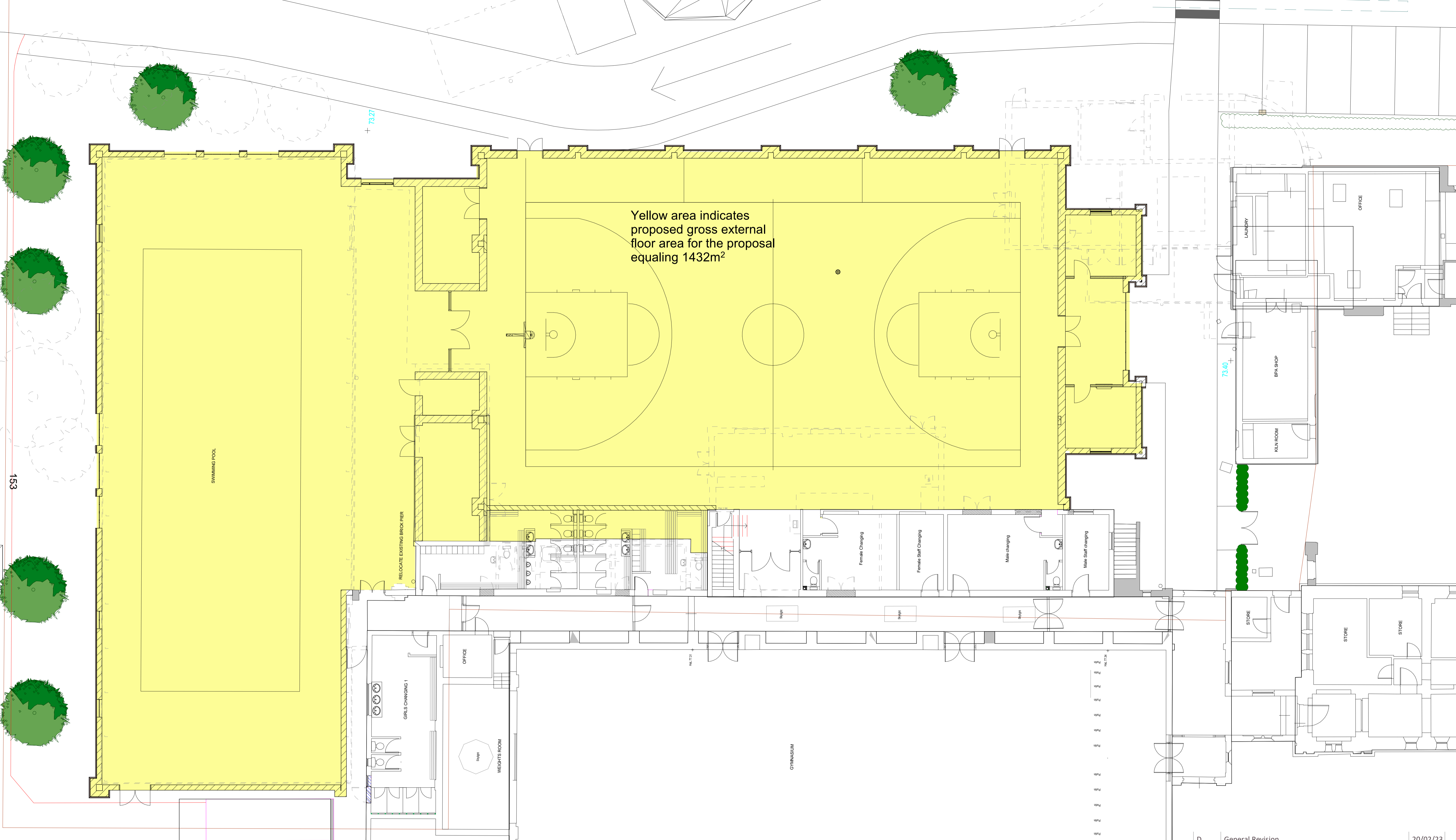
DRAWING Heritage Significance Plan
STATUS Planning
SCALE 1 : 500
DRAWN GH **CHECKED** NO 3807/205 **REV** D

DATE Aug 2021

THIS DRAWING MUST NOT BE SCALED UNLESS ISSUED FOR PLANNING PURPOSES. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO SETTING-OUT, COMMENCING WORK, OR PRODUCTION OF FABRICATION DRAWINGS. REPORT ANY DISCREPANCIES TO THE SUPERVISING OFFICER IMMEDIATELY. ©

This page is intentionally left blank

Yellow area indicates proposed gross external floor area for the proposal equaling 1432m²



REV	COMMENTS	DATE
D	General Revision	20/02/23

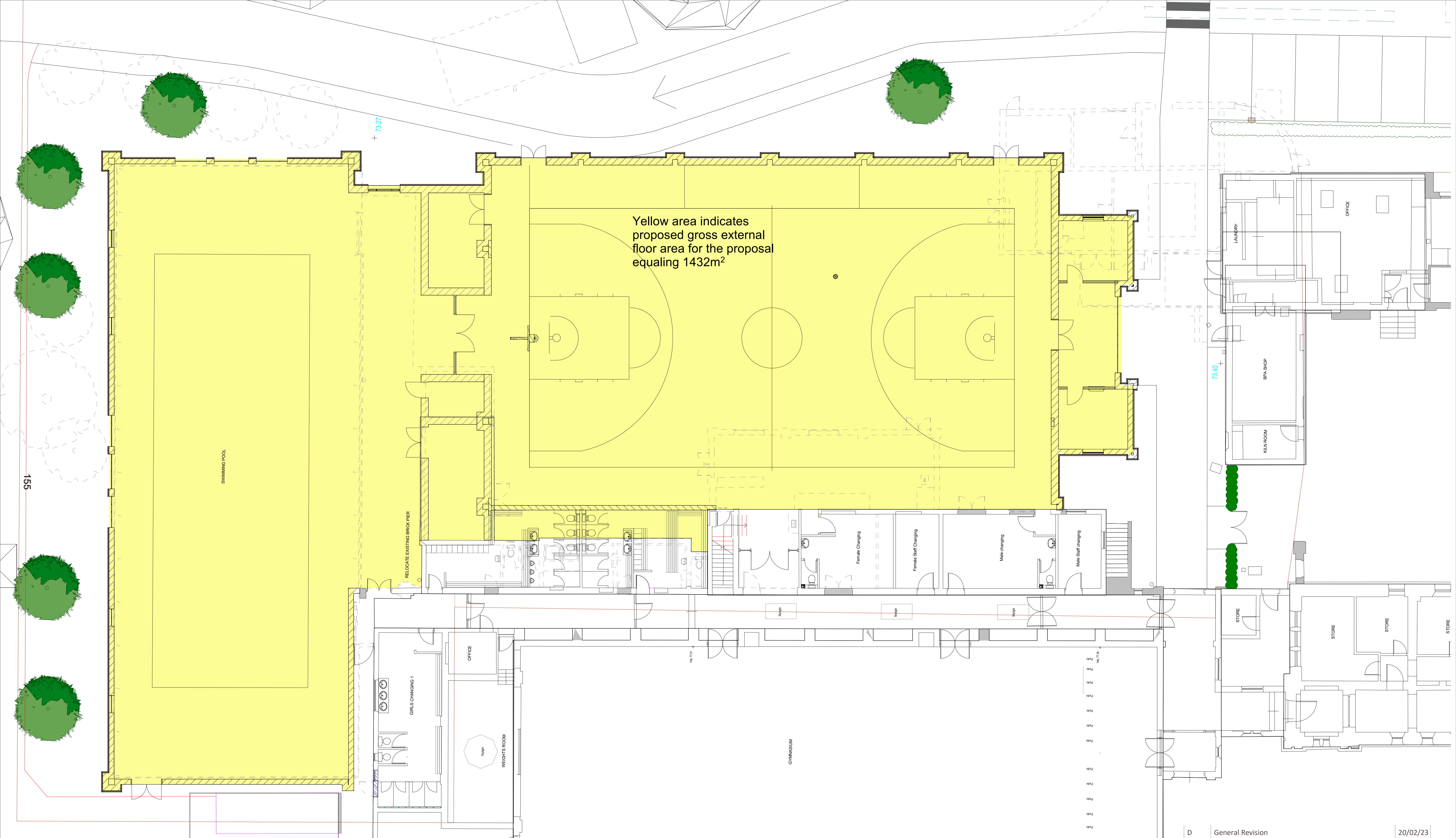
stl **SHAUN TANNER**
ARCHITECTURE & PLANNING

www.stlarchitecture.co.uk studio@stlarchitecture.co.uk 0118 989 0808

CLIENT Reddam House (Berkshire) Ltd
PROJECT New Sports Hall at Reddam House
 Bearwood Rd, Sindlesham, Wokingham RG41 5BG
DRAWING New build area plan
STATUS Planning
SCALE 1 : 100 **DRAWN** Author**CHECKED** NO 3807/216 **REV** D **DATE** Aug 2021

THIS DRAWING MUST NOT BE SCALED UNLESS ISSUED FOR PLANNING PURPOSES. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO SETTING OUT, COMMENCING WORK, OR PRODUCTION OF FABRICATION DRAWINGS. REPORT ANY DISCREPANCIES TO THE SUPERVISING OFFICER IMMEDIATELY. ©

This page is intentionally left blank



Yellow area indicates proposed gross external floor area for the proposal equaling 1432m²

REV	COMMENTS	DATE
D	General Revision	20/02/23

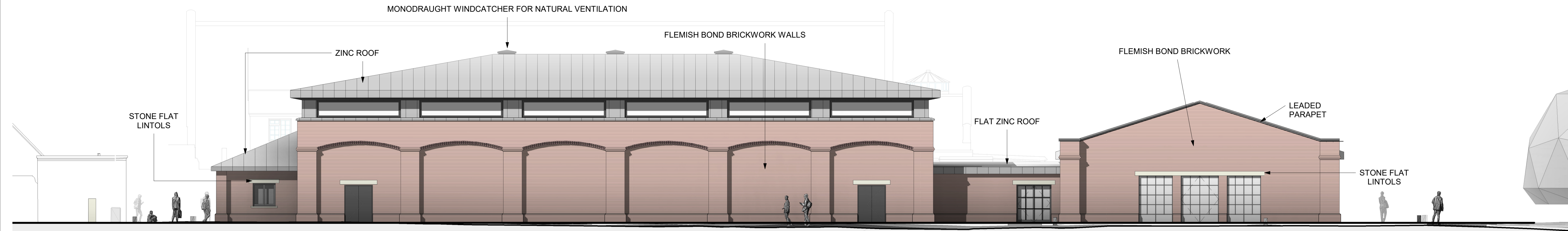
stl **SHAUN TANNER**
ARCHITECTURE & PLANNING

www.stlarchitecture.co.uk studio@stlarchitecture.co.uk 0118 989 0808

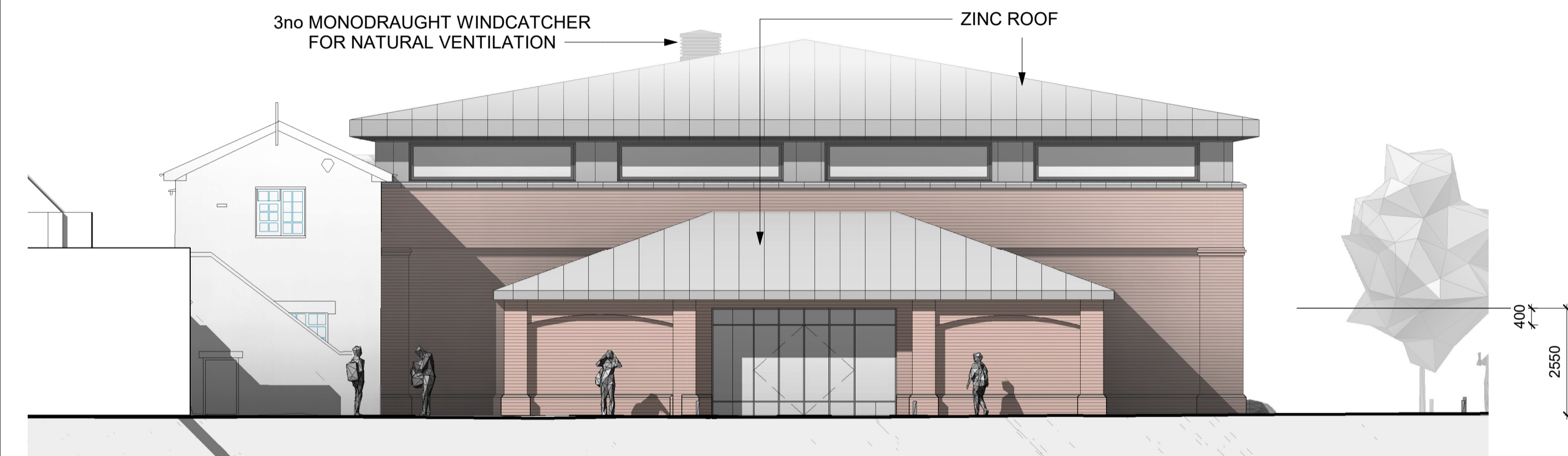
CLIENT Reddam House (Berkshire) Ltd
PROJECT New Sports Hall at Reddam House
 Bearwood Rd, Sindlesham, Wokingham RG41 5BG
DRAWING New build area plan
STATUS Planning
SCALE 1 : 100
DRAWN Author
CHECKED HECKED
NO 3807/216
REV D
DATE Aug 2021

THIS DRAWING MUST NOT BE SCALED UNLESS ISSUED FOR PLANNING PURPOSES. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO SETTING OUT, COMMENCING WORK, OR PRODUCTION OF FABRICATION DRAWINGS. REPORT ANY DISCREPANCIES TO THE SUPERVISING OFFICER IMMEDIATELY. ©

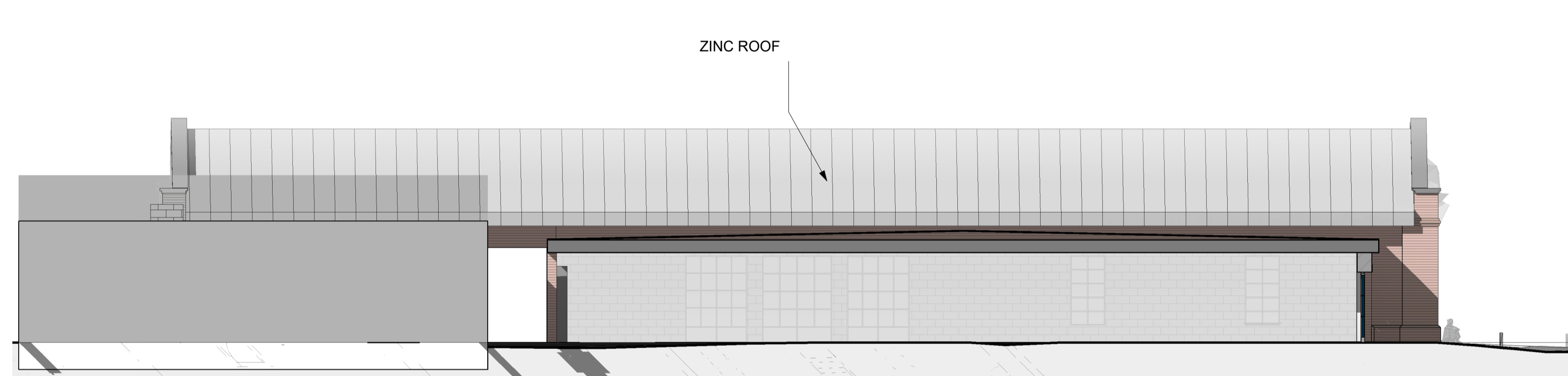
This page is intentionally left blank



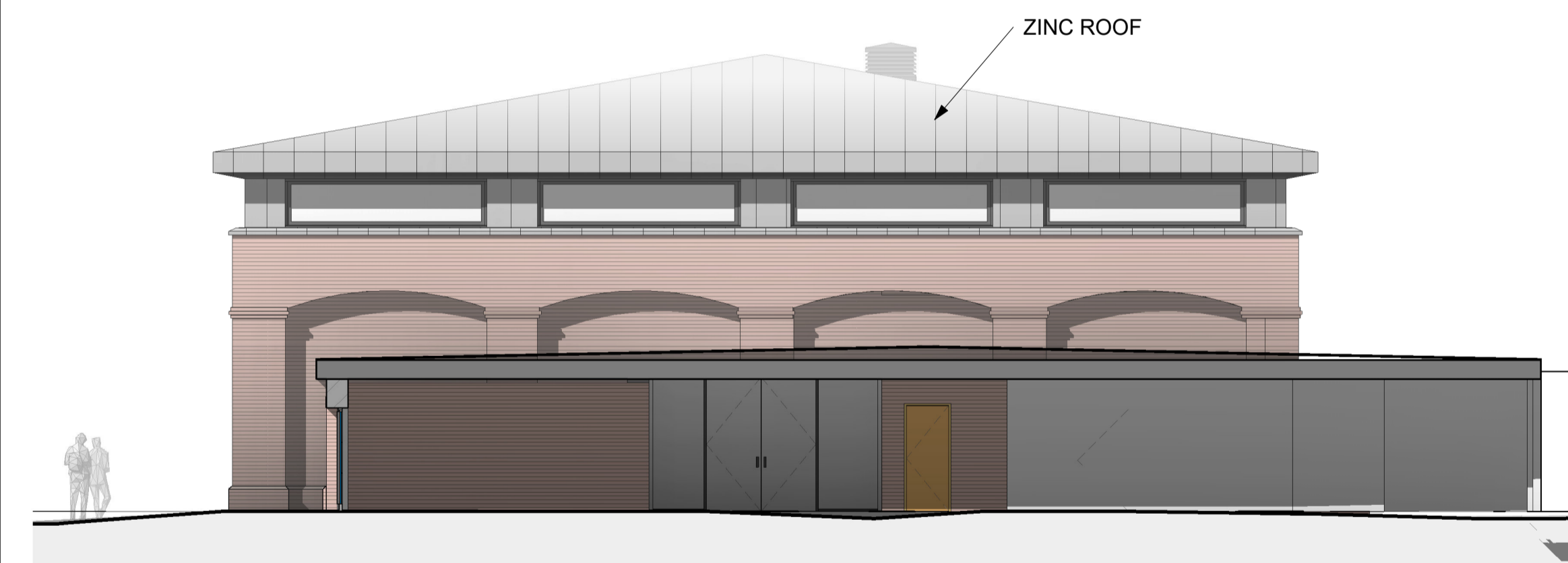
East elevation of sports hall and pool building
1 : 100



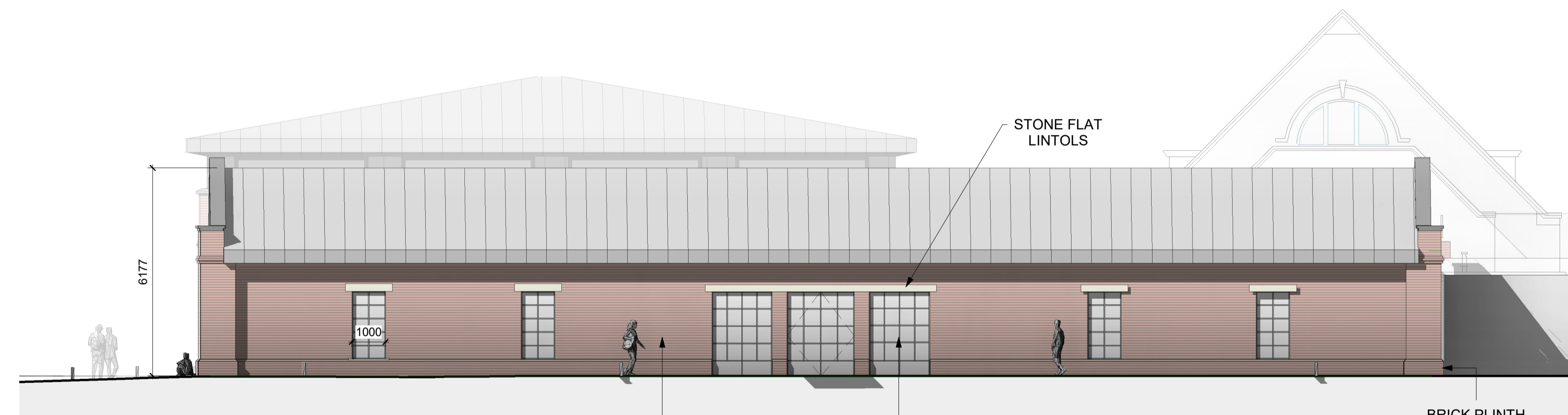
South Elevation of sports hall
1 : 100



Sectional south elevation of pool building
1 : 100



Sectional north elevation of sports hall
1 : 100



North elevation of pool building
1 : 100



West elevation of pool building and existing gymnasium
1 : 100

1:100 scale Bar
This Drawing has been produced for printing onto A1 size paper
0 5 10 m

F	Windows revised. Piers removed. Roof	20/02/23
REV	revised	DATE

STL **SHAUN TANNER**
ARCHITECTURE & PLANNING
www.stlarchitecture.co.uk studio@stlarchitecture.co.uk 0118 989 0808

CLIENT Reddam House (Berkshire) Ltd
PROJECT New Sports Hall at Reddam House
Bearwood Rd, Sindlesham, Wokingham RG41 5BG
DRAWING Proposed Elevations
STATUS Planning
SCALE 1 : 100
DRAWN RC **CHECKED** NO 3807/204 **REV** F
DATE Aug 2021

THIS DRAWING MUST NOT BE SCALED UNLESS ISSUED FOR PLANNING PURPOSES. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO SETTING OUT, COMMENCING WORK, OR PRODUCTION OF FABRICATION DRAWINGS. REPORT ANY DISCREPANCIES TO THE SUPERVISING OFFICER IMMEDIATELY. ©

This page is intentionally left blank

Agenda Item 108.

Application Number	Expiry Date	Parish	Ward
211335	30.04.2022	Finchampstead	Finchampstead South;

Applicant	Mr R Bishop
Site Address	Land adjoining Lynfield House, White Horse Lane, Finchampstead, Berkshire, RG40 4LX
Proposal	Full application for the proposed change of use of a section of agricultural land to a recreational all-weather cricket track and wicket with mobile cricket cage, plus fencing, parking and associated works.
Type	Full
Officer	Mark Croucher
Reason for determination by committee	<p>Listed by Councillor R Margetts for the following reasons:</p> <ul style="list-style-type: none"> • Inappropriate development in the countryside. • Inappropriate change of use of land from agricultural to commercial development. • Noise levels from the change of use of the site would be detrimental to surrounding residents. • There are no public transport links to the site so development would encourage car use and increase the traffic on a small lane which is unsuitable for this level of use. • There are suitable cricket nets at other areas within the parish / settlement in more sustainable locations, so this is unnecessary development.

FOR CONSIDERATION BY	Planning Committee on Wednesday, 12 April 2023
REPORT PREPARED BY	Assistant Director – Place and Growth
RECOMMENDATION	APPROVAL subject to conditions and informatives.

SUMMARY

The NPPF and CP11 of the Core Strategy broadly support recreational and leisure uses within the countryside. The encroachment of the practice net beyond the residential curtilage of Lynfield House is not excessive and the Council's Landscape Officer raises no objections. The proposal is for one cricket practice net and a condition limits the number of users to 5 at any one time, therefore the use is not considered high intensity. The Council has obtained the opinion of an Equine Behaviour Specialist and it is considered there would be no detrimental impact on horses or Horse Riders using White Horse Lane. There is sufficient parking capacity for the proposed use. There are no other impacts that weight negatively in the planning balance.

Taking all the relevant factors into consideration, the proposal is recommended for approval subject to the recommended conditions.

RELEVANT PLANNING HISTORY

Application No.	Description	Decision & Date
181777	Reserved matters application pursuant to Outline planning consent 160706 (04/08/17) Full application for the erection of a farm workers cottage, appearance, landscaping, layout and scale to be considered.	Approved 17/09/18
170693	Permitted development notification for the proposed installation of 1 x 0.3m microwave dish link on the existing structure.	Replied 28/03/17
160706	Outline application for the erection of a farm workers dwelling. (Access to be considered)	Refused 30/06/16 Appeal allowed 04/08/17
F/2004/2544	Proposed erection of a replacement 24m high lattice tower with 3 x '3' antennae, 2 'x 3' 600mm diameter transmission dishes, '3' ground equipment cabinets together with relocation of 02 antennae and ancillary development including removal of existing 20m high lattice tower	Approved 29/09/04
F/2001/4809	Proposed erection of 20 metre high lattice mast with 3 x 4 stack antennas, 2 dish antennas and one radio equipment cabin.	Refused 27/12/01 Appeal allowed 12/08/02

DEVELOPMENT INFORMATION	
Previous land use	Agriculture
Existing parking spaces	0
Proposed parking spaces	3
CONSTRAINTS	<ul style="list-style-type: none"> • Countryside • Nitrate Vulnerable Zones Groundwater and Surfacewater • Grade 3 Agricultural Land Classification • SSSI Impact Risk Zones • Thames Basin Heaths SPA Mitigation Zones (5 km) • Water Utility Consultation Zones • Affordable Housing Thresholds • Bat Roost Habitat Suitability • Farnborough Aerodrome Consultation Zone • Landscape Character Assessment Area • Local Plan Update Submitted Sites

CONSULTATION RESPONSES	
WBC Environmental Health	Recommend approval with no conditions.

WBC Drainage	Recommend approval with no conditions.
WBC Highways	Recommend refusal due to the accessibility of the site.
WBC Landscape and Trees	Recommend approval with no conditions.
Sport England	Unable to support.
Equine Behaviour Specialist	No objection.

REPRESENTATIONS

Town/Parish Council:

- 1.The emerging Finchampstead Neighbourhood Plan identifies this location as part of a Key Gap within the Parish, so designated in order to prevent the coalescence of settlements. Therefore, this proposal is in breach of draft policy GS1
- 2.Noise levels that would impact on equine horse owners that could cause distress and danger to pedestrians and vehicles
- 3.Inappropriate change of use from agricultural to commercial development in the countryside
- 4.There is an agricultural tie on the property

Local Members:

Councillor R Margetts:

- Inappropriate development in the countryside.
- Inappropriate change of use of land from agricultural to commercial development.
- Noise levels from the change of use of the site would be detrimental to surrounding residents.
- There are no public transport links to the site so development would encourage car use and increase the traffic on a small lane which is unsuitable for this level of use.
- There are suitable cricket nets at other areas within the parish / settlement in more sustainable locations, so this is unnecessary development.

Councillor D Cornish:

- This is development in the countryside, contrary to WBC policy CP11.
- This proposal is for a development outside of existing Development Limits and is therefore contrary to policy ADH2 of the emerging Finchampstead Neighbourhood Development Plan, which states that 'New development proposals should be contained within the Development Locations'.
- This proposal is for a development in an area identified by the emerging Finchampstead Neighbourhood Development Plan as an 'Important Area of Separation' and therefore contravenes policy GS1 of the emerging Finchampstead Neighbourhood Development Plan. 4. This proposal represents a change of use from agricultural land to commercial use, in an area with strong agricultural heritage. (Officer Note: In line with legislation, a six-week consultation (Regulation 16) was undertaken on the submitted plan from 12 October to 23 November 2022. The plan is process of being examined)

- This development will increase traffic in White Horse Lane; a small road much used by walkers, cyclists and horse riders, thereby contrary to the current WBC strategy of promoting active travel.
- Planning Appeal decision APP/X0360/W/16/3165765 overturned a decision of WBC and gave permission for the building now known as Lynfield House as a 'Farm Workers Dwelling'. The applicant is the resident of Lynfield House and the proposed development site shares an entrance with Lynfield House. The application is clearly for the development of a sports coaching business and therefore breaches the conditions set for the building of Lynfield House (i.e for use as an Agricultural Workers Dwelling) and also requires a separate Planning Application for change of use to Business Premises. (Officer Note: The use of the Cricket is for Phil West Cricket Coaching Ltd and they do not live at Lynfield House)

Neighbours:

93 comments received (some duplication). 51 received with the original application – 42 received for the re-determination.

- Inappropriate for the area
- Noise (including impact on horse riders, spectators, and amenity)
- Traffic
- Highway safety (including to horses)
- Impact on horse riding (including noise)
- Impact on wildlife (Deer, red kites, bats, foxes and other wildlife and impact of nets)
- Detrimental impact on the character
- Traffic generation
- Adequacy of parking (sited on access to telecommunications mast)
- Disturbance
- Operating times
- No public transport links
- Number of people using facility
- Existing provision of facilities
- Financial viability of proposal
- Impact on existing leisure facilities (horse riding)
- Impact on green gap
- Adjacent dwelling for an agricultural worker
- Potential for further development (Officer Note: This is not a material planning consideration).
- Suitability of access road (White Horse Lane)
- No need for facility
- Additional nets (if required) should be provided at existing facilities
- Sustainability
- Impact of proposed material on ecoculture
- Countryside location
- Need for affordable cricket coaching.
- Lessons paid for and already being offered nearby
- This coach is not offering free lessons and already coaches at Finchampstead, so there is no further or significant community benefit offered by this proposal to what exists locally in more accessible facilities already
- Safety of nearby horses

- Siting of access on bend
- Impact on the business at Wheatlands Farm
- Impact on use of bridlepaths by horse riders
- Proposed development sited on agricultural land
- Clarification whether for commercial or personal use (Officer Note: For commercial use)
- Impact on curtilage of existing dwelling
- Accuracy of plans relating to the access way to the compound for the telecommunications mast represents parking provision.
- Parking provision
- No provision is made for toilets.
- No financial appraisal is provided to confirm financial viability and sustainability of the proposal.
- Insufficient information submitted in respect of noise and ecology
- It is unclear who will manage and control this facility on a day-to-day basis as the proposed operator operates from 12 cricket circles and is coach at Finchampstead Cricket Club
- Impact on the existing provision of horse riding
- Supportive of the provision accessibility of cricket to children in the surrounding area
- Impact on the landscape
- Impact on biodiversity (reference CP7)
- Impact on protected species habitats or mitigation strategy.
- No ecological reports submitted with the application
- Encroachment into the countryside, increasing built form, eroding the open character of the area.
- Unsuitable intensification of use of the site (including change of use to recreational purposes)
- Conflict with NPPF (References to 8c, 170 and 180)
- Conflict with local neighbourhood plans (protection of the rural character of the area, and protect/enhance natural environment and green spaces (IRS3) (Officer Note: In line with legislation, a six-week consultation (Regulation 16) was undertaken on the submitted plan from 12 October to 23 November 2022. The plan is process of being examined)
- Contrary to agricultural occupant condition. (Officer Note: The use of the Cricket is for Phil West Cricket Coaching Ltd and they do not live at Lynfield House)

PLANNING POLICY	
National Policy	National Planning Policy Framework (NPPF) National Planning Policy Guidance (NPPG) National Design Guide
Core Strategy (CS)	CP1 – Sustainable Development CP2 – Inclusive Communities CP3 – General Principles for Development CP6 – Managing Travel Demand CP7 – Biodiversity CP8 – Thames Basin Heaths Special Protection Area CP9 – Scale and Location of Development Proposals CP11 – Proposals Outside Development Limits CP15 – Employment Development CP17 – Housing Delivery

MDD Local Plan (MDD)	CC01 – Presumption in Favour of Sustainable Development CC02 – Development Limits CC03 – Green Infrastructure, Trees and Landscaping CC04 – Sustainable Design and Construction CC06 – Noise CC07 – Parking CC09 – Development and Flood Risk CC10 – Sustainable Drainage TB08 – Open Space, Sport and Recreational Facilities Standards TB21 – Landscape Character
Other	Borough Design Guide Supplementary Planning Document CIL Guidance + 123 List Sustainable Design and Construction Supplementary Planning Document

PLANNING ISSUES

Procedure:

1. The description of development was originally approved on 04.08.2021. The decision was Judicially Reviewed and quashed after the council acknowledged the report had failed to adequately address the impact on horses, particularly regarding horses being ‘spooked’ by the sudden loud noise of a cricket ball being hit by a bat.
2. This application is therefore a redetermination of that proposal, and this report sets out justification for an unchanged recommendation.
3. As part of the redetermination process the council consulted an Equine Specialist and their comments are reference throughout this report. The council also reconulted neighbouring residents providing an opportunity to consider the Equine Specialist comments. 41 additional comments were received and these are summarised above.

Site Description:

4. The application site (0.04 hectares) is located on the north-western side of White Horse Lane which is approximately 3.7 metres wide with no street lighting or footpaths.
5. The application site is to the south of Lynfield House (see planning history above) and is shown to be adjacent to the existing post and rail fence. The application site also includes land to the west of Lynfield House which is currently laid with hardstanding.
6. The application site is located in an elevated position.
7. To the south of the application site is a telecommunications mast. To the northwest is an agricultural barn. To the west along White Horse Lane are a small cluster of farm buildings and dwellings including Wheatlands Farm which has a livery and a menage.

Planning History:

8. Outline planning permission (LPA ref: 160706) was granted at appeal in August 2017 for erection of a farm workers dwelling, the property is now known as Lynfield House.
9. The subsequent reserved matters application (LPA ref: 181777) showed on the site plan a post and rail fence with native species hedge, 5.75 metres to the south of the dwelling.

Description of Development:

10. Planning permission is sought for change of use of a land from agricultural land to a recreational all-weather cricket track and wicket with mobile cricket cage (permanently positioned), plus fencing, parking and associated works. The proposed site plan shows 3 car parking spaces.
11. The proposed net would be 3.7m by 10m. it includes a post and rail fence to the north-east and south of the net and track. The proposed hours of operation are 9-5 daily.
12. There appears to be some discrepancy on the drawings. On the Block Plan the existing fence is shown 4m to the north of the mast enclosure. On site the existing fence runs adjacent to the corner of the mast enclosure. This has been referred to Planning Enforcement for investigation.
13. The proposal is for the cricket track, wicket and cage to be located next to the post and rail fence enclosing Lynfield House, on agricultural land.

Principle of Development and Character of the Area:

14. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay unless material considerations indicate otherwise.
15. The application site is located in the designated countryside. Policy CP11 of the Core Strategy relates to proposals outside development limits (including countryside) sets out:

In order to protect the separate identity of settlement and maintain the quality of the environment, proposals outside of development limits will not normally be permitted except where:

- 1) It contributes to diverse and sustainable rural enterprises within the borough, or in the case of other countryside-based enterprises and activities, it contributes and/or promotes recreation in, and enjoyment of, the countryside; and
 - 2) It does not lead to excessive encroachment or expansion of development away from the original buildings;
16. Para 84 (c) of the NPPF states that decision should enable '*sustainable rural tourism and leisure developments which respect the character of the countryside*'.

17. Whilst the cricket strip will be for private coaching, it is a leisure activity and therefore broadly encouraged by the Framework, subject to the impact on the character of the countryside.
18. The proposal would encroach beyond the lawful garden of the neighbouring property into agricultural land but this change of use would not be excessive for the reasons set out in the following section. Overall the proposed development broadly complies with policy CP11 and para 84 of the NPPF.

Impact on character and appearance of the countryside and the area.

19. Policy CP3 of the Core Strategy states that development must be appropriate in terms of its scale of activity, mass, layout, built form, height, materials and character to the area in which it is located and must be of high-quality design without detriment to the amenities of adjoining land uses and occupiers.
20. The development would encroach marginally beyond the curtilage of the neighbouring residential property. The impact would be negligible due to the narrow width of the application site, absence of any substantial solid structures and containment within the existing visual envelope of the house and a telephone mast.
21. The site is well screened from the road and the proposal would not be visually prominent. There is a public right of way to the east, across existing open fields, but the proposal would be seen within the envelope of existing development. There would be no excessive or harmful encroachment on the countryside.
22. The council's Tree and Landscape officer has not objected to the application.

Neighbouring Amenity:

Overlooking, Loss of Light, and Overbearing:

23. The proposed development would be located to the south of Lynfield House. On the southern elevation of Lynfield House there are windows serving habitable rooms.
24. Within the approved details for the dwelling, boundary treatment is a 1.4m post and rail fence with native hedge.
25. The proposed development is a private enterprise and given the proximity between the existing dwelling and the proposed development there is the potential for a loss of privacy. This can be mitigated by boundary treatment secured by a condition. Further, the planting proposed as part of the application for the house will screen the site once it becomes established.
26. Impact regarding noise is considered in the Environmental Health section of this report.

Highway Access and Parking Provision:

27. The proposal is to make use of the existing access serving the dwelling and to provide 3 off street parking spaces to serve the proposed development. The three off street parking spaces are proposed on an existing access track to a telecommunications

mast. The application has been reviewed by the Council's Highway Engineer and no objection has been made in respect of highway safety.

28. Whilst the parking spaces would be located in front of the telephone mast, parked cars would be transient, and the mast would still be accessible to engineers and for maintenance.

29. The council's Highway Engineer has raised an objection based on the observation that people would be reliant on driving to the site and there are no realistic public transport options. As set out in the Principle of Development section, policy CP11 and the NPPF broadly promotes recreational uses and sports provision within the countryside and it is implicit that many such uses will not benefit from the same sustainable transport opportunities as those in urban areas. The proposal is one practice net limited by condition to 5 people at any one time, therefore recognised as being modest in scale. Taking into consideration the broad policy support for such uses in the countryside and the small scale of the proposal no objection on sustainable location grounds is raised.

Flooding and Drainage:

30. The development is in Flood Zone 1 according to the Environment Agency mapping. The Council's Drainage Engineer has reviewed the application and does not consider that the proposed development would affect or increase flood risk. The proposed 3 parking spaces would be located on an already impermeable area. Accordingly, there is no objection on this basis.

Ecology:

31. The lawful use of the application site is agricultural land. There are no distinctive ecological features or habitats that would be impacted by the development. The application site is located within a bat roost suitability area, given the nature of the proposed development a bat assessment has not been requested.

Environmental Health:

32. The Council's Environment Health Officer has been consulted on the application who has raised no objection on the basis that the proposed use is in a relatively remote location. Noise from the activity is unlikely to have any detrimental impact on residential amenity.

Noise Impact on Horses and Road Users:

33. Local representations refer to the noise impact on horses. This includes horses using White Horse Lane and horses at a livery c.300m to the north of the site. Reference is made to the nature of the sound caused by the sudden and loud impact of a cricket ball being hit. The physical attributes of White Horse Lane being a single carriageway with bends in the road has also been raised by third party comments.

34. White Horse Lane is a single carriageway road that is typical of countryside lanes. There are bends in the road and one is located close to the application site. The road is open to all traffic and objection letters refer to the noise impact on horses and riders using the road.

35. Sustainable leisure activities and business uses are supported by Policy CP11 and the NPPF in rural locations. There is nothing inherently incompatible with a practice cricket net 25 metres away from a public road. Cricket is a common activity throughout the UK and occurs in variety of locations next to schools, houses, roads and in countryside locations. There are multiple pitches and practice nets in the borough near public highways, including at Arborfield Green, Shinfield Cricket Club, Finchampstead Sports Club, Hurst, Twyford, Sonning and Wargrave. Two additional cricket pitches at Farley Hill Cricket Club and Reading Cricket Club, are closer to equestrian uses than the application site. There is no evidence that these existing facilities are incompatible with road users or such equestrian activities.
36. Whilst the sound of cricket ball being struck creates a short burst of sound, it is not akin to a gunshot, which has been suggested some comments. Cricket is played without ear protection and is safely watched by spectators. Indoor practice sessions, where noise reverberate around the space also occurs without the necessity of ear protection. As stated above it is a common activity played in range of locations adjacent to a variety of other uses and receptors. In principle therefore, it is not accepted that this is a matter that would create severe impacts or would justify the refusal of permission.
37. For the avoidance of doubt and given the previous challenge, the Council has consulted an Equine Behaviour Specialist who has advised that horses quickly habituate to new stimulus around them and that it is unlikely that horses at the livery or passing the proposed development would be unexpectedly disturbed by the noise of a ball being struck by a cricket bat. They also suggested that insofar as such issues might arise, they can be avoided or mitigated through understanding the hours of operation of the facility and conditioning undertaken by horse owners so that the animals become used to any expected sounds. The summary of the Equine Specialist's advice is:

Horses are reactive to unseen novel auditory stimuli but their behavioural response to these stimuli will wane over time during repeated presentation of the stimuli (habituation). The horses at Wheatlands farm equestrian facility are in close proximity to the planned development site and the repeated presentation over time of the impact sound of a cricket ball being struck by bat will likely result in horses habituating to this auditory stimulus. In addition, the nature of cricket practice and the repeated sound of ball being struck by bat is such that the arrival of a loud unexpected presentation of the auditory stimulus at the point of a horse and rider passing the planned development site is unlikely. The latter can potentially be mitigated through regular updated communication between equestrian and cricket practice establishments. The behavioural responses of horses that sensitise to the sound of the auditory stimulus can be significantly attenuated through standard behavioural modification techniques."

38. The Equine Specialist advised that the nature of cricket practice and the repeated sound of ball being struck by bat is such that the arrival of a loud unexpected presentation of the auditory stimulus at the point of a horse and rider passing the planned development site is unlikely.
39. The proposed use would be known by local riders and therefore any noise and the

nature of sound would be expected. The operating hours are set out in the application form and will be controlled by condition so are likely to be consistent for each day. Therefore riders would know that the noise of a cricket ball being struck could be heard when riding on this section of the road.

40. With regard to particularly sensitive horses, it is appropriate also to bear in mind that horse riders bear some responsibility for the safety of their horse and other highway users. The Highway Code sets out how highway users should use public roads safely, and this includes horse riders and vehicular traffic. Rule 52 states riders should ensure they can control the horse and ride with other less nervous horses if it is nervous of traffic. The Equine Specialist has advised that if horses are affected by noise this can be counter-conditioned to make them accustom to such stimuli.
41. In addition to the comments by the Equine Specialist, there are intermittent features between the practice net, White Horse Lane and stables/livery. These include buildings, trees and hedgerows, which would partially screen noise from the site. The livery itself would be approximately 270 metres to the northwest.
42. It is also of some relevance that the proposed cricket net is not for competitive use and is intended to be used by children rather than professionals or adults so the intensity of the activity is reasonably likely to be lower.
43. Hours of operation and number of persons using the practice net are controlled by condition, providing a degree of constancy regarding the nature of the use.
44. In summary, the response from the Equine Specialist confirms the Council's view that use of the practice net is not incompatible or otherwise unacceptable on account of noise impacts for equestrians or horses. It would not cause undue safety or welfare issues for horses and riders using White Horse Lane or the livery/stables to the northwest.

Sport England:

45. Sport England highlight that whilst there is a suggested need for this additional 'private' facility as detailed in the Design, Access and Justification Statement, it has not been proven. Sport England require more detailed information in support of the application (including details from the county cricket board). Sport England note that the application would need to be English Cricket Board compliant in its technical details.
46. The proposed cricket strip is for practice and coaching. It is not for competitions or matches and therefore the requirement to comply with Sports England's recommendations would be overly onerous and not required in this instance.

Special Protection Area Thames Basin Heath (SPA TBH):

47. The application site lies within 5km of the TBH SPA, given the nature of the proposed development there is not considered to be any conflict with Policy CP8 of the Core Strategy. The proposed development of a cricket pitch is not considered to alone or in combination with other development to have a significant effect on the TBH SPA and therefore no mitigation is required.

Conclusion:

48. The NPPF and CP11 of the Core Strategy are broadly supportive of recreational and leisure uses within the countryside. The encroachment of the practice net beyond the residential curtilage of Lynfield House is not excessive and the council's Landscape Officer raises no objections. The use would be low-key as the proposal is for one cricket practice net and a condition limits the number of users to 5 at any one time. The council has obtained the opinion of an Equine Behaviour Specialist and it is considered there would be no detrimental impact on horses or Horse Riders using White Horse Lane. There is sufficient parking capacity for the proposed use. There are no other impacts that weight negatively in the planning balance.

49. Taking all the relevant factors into consideration, the proposal is recommended for approval subject to the recommended conditions.

The Public Sector Equality Duty (Equality Act 2010)

In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

APPENDIX 1 - Conditions / informatives or Reasons for refusal

APPROVAL subject to the following conditions and informatives:

1. Timescale

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. Approved details

This permission is in respect of the submitted application plans and drawings numbered RJ/01/RG40 4LS; RJ/02/RG40 4LS; RB01/VI and RB02/VI received by the local planning authority. The development shall be carried out in accordance with the approved details unless otherwise agreed in writing by the local planning authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. Hours of use

The use hereby permitted shall only operate between the hours of 9:00 – 17:00 Monday to Sundays.

Reason: To protect residential amenity and the character of the countryside.

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no external lighting shall be installed on the site or affixed to any structure on the site.

Reason: To protect the character and appearance of the countryside and neighbour amenity. To ensure the use does not have an ecology impact and disturb bats.

5. The use of the cricket strip/net hereby approved shall be limited to no more 5 persons at anyone time.

Reason: To ensure adequate parking capacity and protect the amenity of neighbouring residents.

6. Amplified music

No sound amplifying equipment, which could result in noise levels outside the boundary of the application site, shall be installed or used at the premises hereby approved.

Reason: To safeguard the residential amenities of nearby residents and the area generally from noise and disturbance. Relevant policy: NPPF Section 15 (Conserving and Enhancing the Natural Environment), Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

7. Details of boundary walls and fences etc

Before the development hereby permitted is commenced details of all boundary treatment(s) shall first be submitted to and approved in writing by the local planning authority. The approved scheme shall be implemented prior to the first occupation of the development or phased as agreed in writing by the local planning authority. The scheme shall be maintained in the approved form for so long as the development remains on the site.

Reason: In the interests of amenity and highway safety.

Relevant policy: Core Strategy policies CP1, CP3 and CP6.

Informatives

1. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant.

Location Plan - Cricket net & associated existing parking



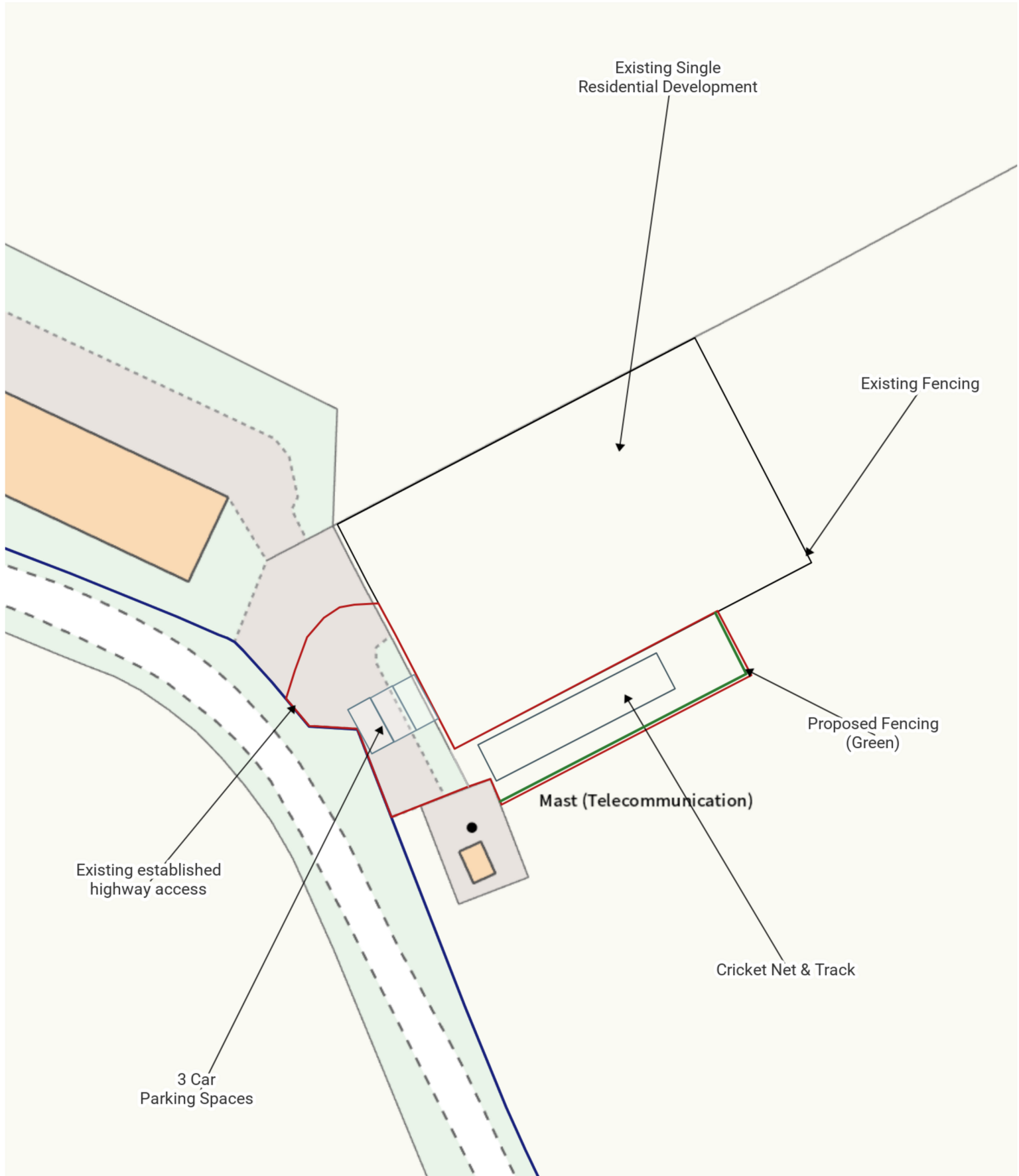
White Horse Lane

Mast (Telecommunication)



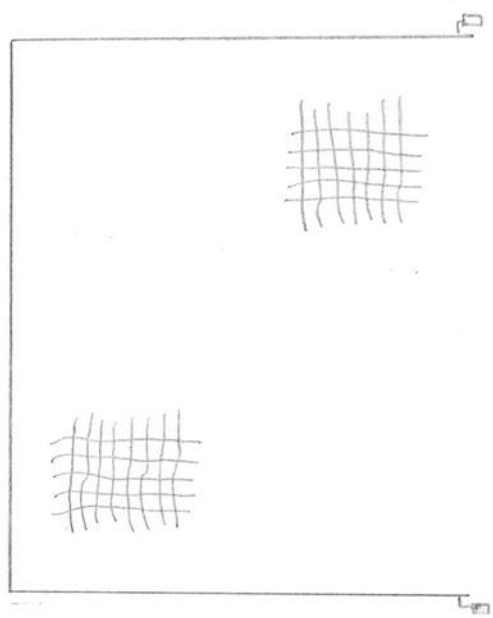
This page is intentionally left blank

Cricket Net & associated existing parking



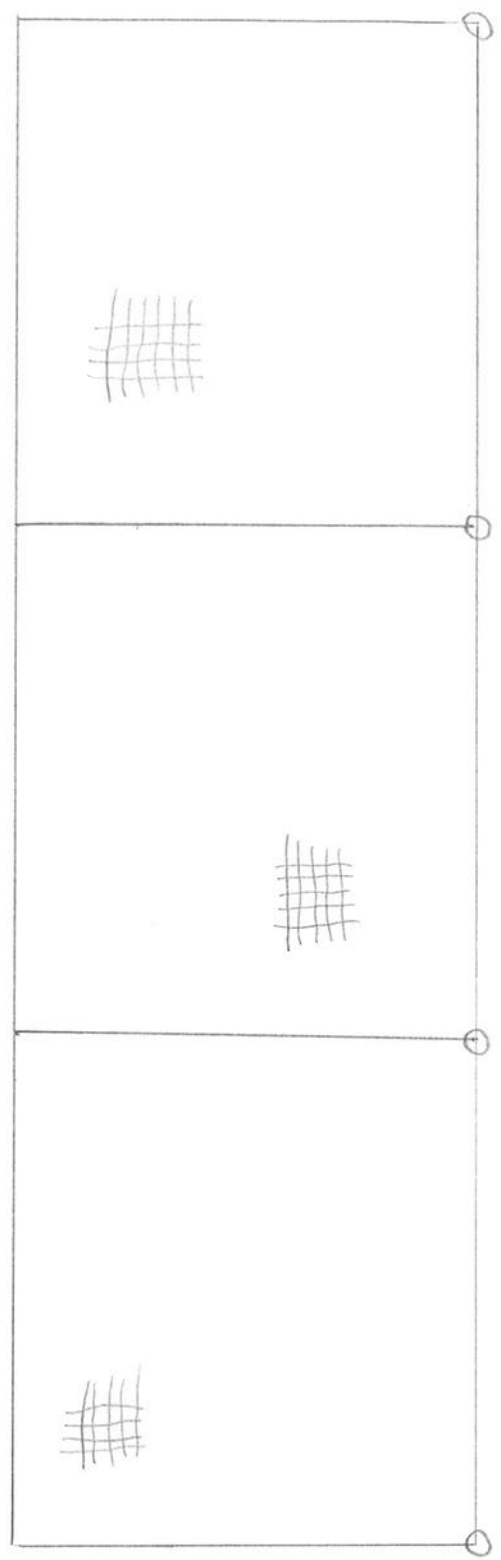
This page is intentionally left blank

Proposed Elevations for Cricket Net
at Lyngfield House, White Horse Lane



East + West Elevation

North + South Elevation



1:50 @ A4

Ref: RB/02/V1

This page is intentionally left blank